



APPENDIX C

Heritage Technical Report – DPA
Architects



PROPOSED COMPREHENSIVE CARE RETIREMENT VILLAGE

TECHNICAL REPORT - HERITAGE

28 August 2020

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APPENDIX 1 – HERITAGE APPENDIX

1 EXECUTIVE SUMMARY

The Proposal involves the redevelopment of the former Wellington Teachers' Training College site ("Site") to provide a comprehensive care retirement village ("Proposed Village").

Currently on the Site are various buildings that were previously part of the Teachers' Training College. A number of other buildings have been demolished as they were either not be able to be adapted for a new role or they were unable to be seismically upgraded to the required level of safety.

The buildings along Donald Street (Allen Ward VC Hall and the Tennant Block) are the most prominent structures in the area and these will be retained and modified to enable them to function in a new role within the Village. The link between these buildings was the original main entry into the complex. Although this will no longer be the main entry to the Village, it will be retained and returned to its original form. The octagonal Oldershaw building will also be retained for use by residents.

New buildings will be constructed to replace the original Gray and Waghorn Buildings. The position of the new buildings will essentially follow the footprint of the original buildings to maintain the central courtyard, which was an important feature of the Teachers' College, intended to reflect the idea of a community of learning. These new buildings will take strong design cues from the buildings that they replaced to partly mitigate the loss of the original buildings. However, the new buildings will not be replicas to ensure they are not confused as being part of the original complex.

A range of new buildings will also be constructed on the Site to accommodate apartments and other functions. These buildings will be more contemporary in nature and style but will still be sympathetic to the original buildings. Existing site features including the Lopdell Gardens, along with other landscaped areas, gardens and trees will also be retained wherever possible to create outdoor spaces that residents can enjoy.

The redevelopment of the Site to accommodate a Retirement Village will undoubtedly have an impact on its heritage values, however, the changes are necessary to ensure a comfortable, safe and stimulating environment for the future residents. Potential negative heritage aspects of the Proposed Village include its relatively large scale, the removal of some site features and the loss of some heritage fabric from those buildings that are being retained including the replacement of the original timber joinery with aluminium.

Positive aspects of the Proposed Village include the retention and refurbishment of the most prominent buildings, being those that are the visible from Donald Street; the retention of significant site features such as the internal courtyard and significant elements of the Lopdell Gardens and the construction of new buildings designed to reflect the demolished buildings.

The Proposed Village is an opportunity to create a new phase in the life of the former Teachers' College Training Site which will, in time, become part of its heritage values. Under the proposal, some of the original buildings will be repurposed and incorporated into the new retirement village. The architecture of the original buildings will be respected and opportunities will be taken to enhance their heritage values by restoring them to an earlier form where unsympathetic changes have occurred.

It is considered that the potentially negative aspects of the Proposed Village will be mitigated by the positive aspects. Overall, it is considered that the impact of the proposed changes will be no more than minor.

2 INTRODUCTION

Ryman Healthcare Limited proposes to construct and operate a comprehensive care retirement village ("Proposed Village") at 26 Donald Street and 37 Campbell Street, Karori, Wellington ("Site") and is seeking resource consent to enable the work to occur.

This technical report has been prepared to support the application and assesses the impact that the Proposed Village will have on the heritage values of the Site. The technical report does not consider archaeological matters.

The Site of the Proposed Village was occupied by a series of buildings that made up the former Wellington Teachers' Training College. The majority of the buildings have now been demolished due either to their inability to be able to be adapted for a new use as part of the Proposed Village and/or because of earthquake safety concerns.

Three of the former Teachers' college buildings, however, will be retained to be incorporated into the Proposed Village. These are the Allen Ward VC Hall, the former administration building, known as the Tennant Block and an octagonal building that was previously part of the music suite, known as the Oldershaw building.

A series of new buildings will be constructed on the Site to provide accommodation and other amenities for the incoming residents. These will include apartments, assisted living suites and care rooms. The Allen Ward VC Hall and one of the proposed new buildings will house the Village Centre.

An area of the Site that contains a number of mature trees and other plantings known as the Lopdell Gardens will generally be retained and able to be used by the residents. Some existing trees will need to be removed to enable construction activities to proceed. Additional plantings will be provided as detailed by the landscape architect. The remainder of the Site not occupied by buildings or vehicle access routes will also be landscaped. Carparking will generally be provided beneath a number of the proposed buildings as either basement or undercroft parking.

The assessment of the heritage values of the retained buildings is based on *Heritage New Zealand List/Rarangi Korero – Report for a Historic Place Wellington Teachers' College (former), WELLINGTON (List no. 9797, Category 1)*, prepared by Heritage New Zealand Pouhere Taonga.

I am familiar with the Site, having visited it on 20 February 2019, 13 August 2019 and 24 September 2019.

This report should also be read alongside the Landscape and Visual Assessment and Urban Design Assessment. I have worked collaboratively with Ryman's landscape/visual and urban design experts to ensure a comprehensive design approach.

A Heritage Appendix to this report provides drawings and photographs that demonstrate how the buildings that will be retained will be integrated into the Proposed Village. It also illustrates how proposed new buildings on the Site have been designed to reflect the architectural style of the buildings that have had to be removed. The photographs in the report were all taken between 5 April 2018 and 18 November 2019.

3 BACKGROUND INFORMATION

3.1 Wellington Teachers' Training College

The Site was previously occupied by the Wellington Teachers' Training College with the buildings being constructed in two stages between 1966 and 1977. The Stage 1 buildings included the Allen Ward VC Hall and the Tennant Block, both of which front onto Donald Street.

Stage 1 also included two buildings behind the Hall which were set at right angles to one another to form a courtyard. The Gray Block located directly behind the Hall was originally designed as a library but was later converted into a cafeteria. The third building which enclosed the western side of the courtyard was a teaching block known as the Waghorn Building.

A gymnasium located to the south of the Waghorn building and a pair of connected buildings comprising a rectangular teaching block and an octagonal performance building, which were together known as the Oldershaw Music Suite completed Stage 1 of the Teachers' College.

The Stage 2 buildings comprised a multi-storied accommodation building named the Malcolm Block, a second accommodation building known as the Panckhurst Block, which included a new library and a final structure that housed a dance studio and a series of theatres. Ryman drawing RCA04 shows the location of the former Wellington Teachers' Training College buildings.

3.2 Heritage Listing

Heritage New Zealand Pouhere Taonga ("HNZPT") has compiled a data base of New Zealand's significant heritage places, known as The List Rārangī Kōrero. The List includes the buildings and structures and a large part of the site known as the Wellington Teachers' Training College (former) as a Category 1 Historic Place. Category 1 historic places are those of special or outstanding historical or cultural significance or value. The Extent of the List entry is as follows:

Extent includes the land described as Sec 2 SO 515832 (RT 81 2554), Wellington Land District, and the buildings and structures known as the Wellington Teachers' Training College (Former) thereon. The extent includes: the Donald Street entrance driveway gardens, Lopdell Gardens, Allen Ward VC hall, Tennant, Gray, Waghorn, Oldershaw, Panckhurst and Malcolm Blocks, the sky bridges, the Quad and Guy Ngan sculpture therein, Mackie Gymnasium, and Theatre Block/Dance Studio. The extent excludes: Ako Pai Marae, the sports courts and field and adjacent carpark areas prefabricated buildings near the Gray Block and the stores and services workshop.

Heritage New Zealand Pouhere Taonga describes the list as an information tool that identifies and provides information on significant heritage places throughout New Zealand. However, entry on the List:

- does not equal automatic protection
- does directly create regulatory consequences or legal obligations on property owners
- does not directly create specific rights or control over property.

3.3 District Plan

The former Wellington Teachers' Training College is not included in the Heritage List of the Wellington District Plan. Accordingly, there are no specific heritage-related objectives, policies or rules in the District Plan that apply to the Proposed Village.

Nevertheless, Section 20.1.4.2 of the Wellington District Plan states: *Where a heritage item is registered by the New Zealand Historic Places Trust (now Heritage New Zealand Pouhere Taonga), the Council will inform the Trust in respect of any resource consent or District Plan change. The Council will expect an application for resource consent that relates to a heritage item that is registered with the Trust to include written comments from the Trust.*

This requirement appears to apply irrespective of whether or not the item appears in the council's heritage list.

3.4 Architectural Style

The buildings that made up the former Wellington Teachers' Training College were considered to be good examples of Modernist architecture in New Zealand. The buildings were designed by architect Bill Toomath of Toomath and Wilson, who employed a particular style known as "Brutalism". It is a somewhat unfortunate term that derives from the French words *Breton brut*, meaning concrete in the raw.

Brutalism is most often characterised by the use of concrete that retains the texture of the boxing such as a woodgrain finish imprinted from rough sawn timber or sometimes the form of corrugated steel. Other effects include bush or pick hammered concrete can also be considered to come under the category of Brutalism.

3.5 Seismic capacity of Existing Buildings

Gray and Waghorn Buildings

The original intention was that the Waghorn and Gray Buildings should be retained and adapted for new uses as part of the Proposed Village. However, they were then subjected to further investigations to determine their structural capacity and found to achieve 85% NBS and 40% NBS respectively.

In the case of the Waghorn Building, in order to achieve the desired level of safety, all the external panels would have had to be removed and the columns upgraded with carbon fibre wrapping. All architectural details of the columns, including the imprint of the boards used for shuttering would be lost. New piles would be required beneath the building, possibly to a depth of 12 metres, and new internal concrete shear walls would be required. To enable the piling to occur, the ground floor would need to be removed, leaving a potentially unsafe building.

The Gray Block currently only achieves 40% NBS due to weak beam/column joints and the fact that it is sited on potentially liquefiable ground, making the piles vulnerable to shear failure. If the Gray Block was retained as part of the Proposed Village centre, it could potentially accommodate in excess of 300 persons, resulting in it falling into the IL3 category which imposes an additional seismic load on the building. Due to the difficulties of achieving full maximum considered earthquake (MCE) with both these buildings and the risk of catastrophic failure in the event of a significant seismic event, these buildings have now been demolished and will be replaced by new buildings.

Allen Ward VC Hall and Tennant Block

The Tennant Block was found to achieve 110% NBS. Options to achieve full MCE include wrapping the columns with fibre reinforced plaster (FRP) which would conceal some of the architectural detailing or providing new internal shear walls. The later solution was selected, being the option that would have the least impact on the external form of the building

The Allen Ward Hall Block currently achieves 130% NBS and is able to be upgraded to full MCE by wrapping the upper section of the concrete columns with FRP.

3.6 Site Elements and Landscaping

The Site is known for its extensive landscaping and in particular areas of the Site that are collectively known as the Lopdell Gardens. The gardens were named in honour of Frank Lopdell who is described in the Dictionary of New Zealand Biography as a teacher, soldier, school inspector, teachers' college principal and educational administrator. He was appointed principal of the Wellington Teachers' College in 1936 and later superintendent of the Auckland region of the Department of education.

The Lopdell gardens occupy the areas between the Waghorn and Panckhurst blocks and the Malcolm and Oldershaw blocks. They also extend to an area at the northern end of the Site between the octagonal Oldershaw Block and the Tennant Block and were extensively replanted in 1978 – 80 with both exotic and native plants. The Lopdell Gardens are visible from many areas of the Site and can also be seen from outside the Site, in particular, from Donald Street between the Tennant and octagonal Oldershaw Blocks.

The Site also contains other landscape elements such as sculptured in-situ concrete retaining walls and steps between the various levels.

4 ASSESSMENT OF HERITAGE VALUES

4.1 Heritage Values of Existing Buildings

This section assesses the heritage values of the place, including the Allen Ward VC Hall, the Tennant Block and the octagonal Oldershaw building (the heritage buildings), in accordance with the assessment criteria in Part 4 of the Heritage New Zealand Pouhere Taonga Act 2014.

Historical Significance or Value

The former Wellington Teachers' Training College had historical value as a purpose-built training college designed to accommodate the additional teachers that were required as school rolls increased following the "Baby-Boom" which occurred in the years after World War II. The buildings to be retained were all part of the Stage 1 development of the college and have historical value through their relationship with the college. The buildings that remain will continue to provide evidence of a significant event in New Zealand's history.

The heritage buildings also have historical value through their association with Bill Toomath of the architectural firm of Toomath and Wilson, who is acknowledged as a significant Wellington architect and a leading proponent of the Brutalist architectural style.

The Lopdell Gardens also have historical significance, being named after Frank Lopdell, a former principal, of the Wellington Teachers' Training College.

Architectural Significance or Value

The retained heritage buildings of the former Wellington Teachers Training College, and the Allen Ward VC Hall, in particular, are fine examples of New Zealand Brutalist architecture. The variety of textures and forms that were used provided them with a comfortable human scale.

Aesthetic Significance or Value

The Allen Ward VC Hall was constructed up to the Donald Street boundary and is a notable landmark in the local area. The variety of textures in the concrete including bush hammered, off-the-form and exposed aggregate add interest to the building. The Tennant Block incorporates some of the same textures but is less prominent due to its smaller scale.

The Site was extensively landscaped with the areas between the Waghorn and Panckhurst Blocks and between the octagonal Oldershaw Block and the Tennant Blocks being known as the Lopdell Gardens. The mature vegetation within the Lopdell Gardens is visible from Donald Street and also from many vantage points within the Site and makes a significant contribution to the aesthetic values of the place.

Social Significance or Value

The Wellington Teachers' Training College had social significance as an institution that attracted students and staff to the area and was also the largest employer in Karori. The activities that occurred at the Teachers' Training College became part of the way of life in Karori.

Technical Significance or Value

The retained heritage buildings demonstrate the achievement of utilising concrete in a variety of forms to create complexity and interest. The range of finishes include "bush hammered" concrete, off-the-form concrete where the imprint of the boards that were used for shuttering can be seen, concrete panels with an exposed aggregate finish and smooth precast concrete elements. These finishes demonstrate the skill of the architect to bring different elements together in a way that provides the buildings with a human scale.

4.2 Heritage Values of Elements

The following elements of the heritage buildings are considered to particularly contribute to the heritage values and character of the place:

- Shallow pitched roofs, in either mono-pitched, gabled or hipped forms.
- The use of timber tongue and groove boarding to gable ends and to external walls to denote corridors within the buildings.
- The use of concrete in different forms including:
 - Bush hammered concrete where the concrete is poured against a corrugated formwork. The "ridges" or high points are then struck with a hammer to produce a highly textured effect. Concrete in this form can be seen on the external walls of the stage area of the Allen Ward VC Hall.
 - Precast panels faced with crushed dark grey aggregate. These panels can also be seen on the external walls of the Allen Ward VC Hall.
 - "Off-the-form" concrete where concrete is poured in-situ and takes up the texture of the form work. In this case, the formwork was made up of rough sawn boards and the form of the boards was transposed to the finished concrete. The concrete frame at high level on the Allen Ward VC Hall has been poured against rough sawn boxing. The technique was more pronounced on the Waghorn and Gray Buildings.
 - Smooth finished precast concrete elements. These elements have been used to form capping beams on the Allen Ward VC Hall.

- The use of timber for window and door joinery and the particular fenestration patterns.
- Entry porticos including the original main entry off Donald Street and other entry points and the links between the various buildings.
- Original covered ways including concrete block columns.
- The roofscape including skylights.

The Lopdell Gardens with their mature exotic and native plantings provide an oasis of greenery within the site and make a significant contribution to its amenity. Also of particular value is the central courtyard which was bordered by the Allen Ward VC Hall, Tennant Block and the connecting link to the east, the Gray Block to the south, the Waghorn Block to the west and the covered way that connected the Tennant Block with the Waghorn Block to the north. The courtyard embodies Toomath's vision for a community within the Teachers' Training College.

5 DESCRIPTION OF PROPOSED VILLAGE

5.1 Reuse of Heritage Buildings

The Proposed Village will retain the Allen Ward VC Hall, which will become part of the village centre and the Tennant Block, which will be converted into apartments. The glazed link that connects the two buildings will be retained, along with a section of the covered way that connected the Tennant Block to the Waghorn Block. The octagonal Oldershaw Block will also be retained as part of the Proposed Village to be used for village activities and events.

As the Site is no longer to be used as a Teachers' College, the buildings will obviously not be able to continue to be used for the purpose for which they were designed and will need to be adapted to perform new functions within the retirement village. DPA Architects have been closely involved throughout the design process of the Proposed Village and with plans to adapt and reuse the heritage buildings.

Allen Ward VC Hall

The Allen Ward VC Hall will have a new use as part of the Village Centre. It will be redeveloped to contain a main lounge/dining area while other spaces will be set aside as a library and a games room. The original entry courtyard facing Donald Street will be redeveloped as an outdoor area accessed from the main space of the hall.

Externally, the proposed changes to the hall are minimal with the majority of the building fabric remaining as existing. The main change to the building exterior will be the removal of a number of the precast aggregate-faced panels along the northern façade and their replacement with a glazed screen to allow more light into the building with the object of enhancing the internal environment. The glazed screen will be contemporary in style to ensure it is not perceived as being part of the original building.

The exposed columns at high level will be wrapped with an epoxy mesh system for structural purposes. However, this change will be relatively unobtrusive due to the height of the columns above ground level.

The existing timber window joinery on the Allen Ward VC Hall will be replaced with aluminium to reduce on-going maintenance costs. As a way of reducing the impact of this change on the heritage values of the buildings, the new aluminium window joinery will follow the fenestration pattern of the original timber joinery.

Sheet A001 of the Heritage Appendix includes an original architect's drawing of the Allen Ward VC Hall and photographs of the building in its current form, along with a drawing that shows the changes that are proposed.

Tennant Block

The Tennant Block will be redeveloped and converted into apartments with two apartments on each of the two floors. Externally, the only change to this building will be the replacement of the existing timber joinery with aluminium. Again, the fenestration pattern of the new windows will reflect that of the original timber windows. Sheets A002 and A003 of the Heritage Appendix include drawings of the Tennant Block showing the proposed new aluminium joinery and a photograph of the building in its current form showing the existing joinery for comparison.

Links Between Buildings and Covered Ways

The link between the Allen Ward VC Hall and the Tennant Block facing Donald Street incorporated the original main entry to the complex. The entry has been modified over the years with the construction of an additional unsympathetic canopy and the infilling of spaces on either side of the entry. Although this area will no longer be the main entry, it will be restored to its original form with the removal of the later canopy and other additions and the reinstatement of louvres as seen on the original architect's drawing. Details of the proposed restoration work to the link are shown on sheet A002 of the Heritage Appendix.

The lower level of the link between the Allen Ward VC Hall and the Tennant Block was originally open but was later infilled with a student lounge. The lounge was not part of the original concept and its architectural style was unsympathetic to the other buildings. It is now proposed to remove the lounge and replace it with a simple glazed link. Sheet A003 of the Heritage Appendix includes photographs of the lounge and a drawing showing the proposed glazed link.

The existing link structure between the Allen Ward VC Hall and replacement Gray Block will be modified to accommodate a new entry at the lower level on the southern side. This entry will become the main entrance to the Proposed Village and its design is based on the form of the original Donald Street entry. The proposed new main entry and modified link can be seen on sheet A005 of the Heritage Appendix. The link will need to be further modified to incorporate a seismic gap as the building replacing the Gray Block will be base isolated while the Hall will remain on its existing foundations.

A section of the existing covered way on the northern side of the courtyard will also be retained to be utilised as a shelter looking out onto the bowling green.

5.2 New Buildings in Locations of Former Buildings

The Gray and Waghorn buildings were unable to be retained due to their inability to be structurally upgraded to the required level and although their removal was permitted by the District Plan, considerable efforts have been made to mitigate their loss. This will be achieved by constructing new buildings in their place, including the link between them, along with a new building to replace the rectangular Oldershaw Building.

These proposed new buildings, along with the Allen Ward VC Hall, have all been labelled as Building B01A on the site plans. For ease of reference, I will refer to the new buildings by their previous Gray, Waghorn and Oldershaw names, to distinguish the different parts of Building B01A.

While Toomath was a proponent of Brutalism, he was also concerned that the Wellington Teachers' College should become a community of learning and he sought to design a coherent group of buildings with a human scale. The grouping of buildings around the courtyard achieved the sense of community envisaged by Toomath and made a significant contribution to the character of the former Teachers' College.



Wellington Teachers' Training College soon after construction showing the Gray Building (left) and the Waghorn Building at right.

When it came to designing the Proposed Village, the sense of community created by a series of buildings grouped around a courtyard was also seen as being appropriate for a retirement village. The courtyard form is now proposed to be retained to become a focal point of the Village and able to be used for bowls and other activities. To retain the form of the courtyard, and as a way of maintaining the heritage values of the Site, it is proposed to position the replacement courtyard buildings as closely as possible to the location of the original buildings.

The new buildings to replace the Gray and Waghorn buildings will be positioned directly behind the Allen Ward VC Hall to form two sides of the courtyard. Above ground, the new buildings will appear as two separate structures at right angles to one another with a link between the two to reference the original buildings. Below ground, the new buildings will be constructed on a single 'L' shaped combined base isolation system below courtyard level.

I have been closely involved of the design of the new buildings to replace the former Gray and Waghorn buildings from initial concepts through to the resource consent documentation. In essence, I considered that these two buildings should more closely resemble the buildings that they will replace, as opposed to other new buildings on the Site, although without resorting to replication. The intention is that they should also be sympathetic to the retained original Allen Ward VC Hall and Tennant buildings, but have a more contemporary appearance which will clearly indicate that they are new structures.

The original Waghorn and Gray Buildings were designed in the Brutalist architectural style and used a variety of materials and textures with a commonality of elements and construction techniques to maintain a cohesive appearance. The overall forms of the original buildings, along with their materiality and construction methodology have been used as a reference for the design of the replacement buildings without resorting to replication. The replacement buildings were also designed to ensure continuity with the original buildings that are to be retained on the site.

The proposed replacement buildings will therefore have exposed concrete frames to echo the details of the original structures, although this time, as a way of reducing their weight, the frames are likely to comprise lightweight precast concrete sections. The frames will also be no higher than the original frames. The sunshades and intermediate mullions may be formed from Glass Reinforced Concrete (GRC) to again reduce weight.

In place of the precast spandrel panels on the original buildings, the new buildings will have tinted glass panels which will extend the full length of the buildings and act as balustrading to the balconies. The glazed panels will improve the living environment within the apartments, but with the darkened tint being a reference to the original precast panels.

As noted, the new building to be constructed in place of the Waghorn Building will be base isolated. The lower level of the building will house various village centre functions, while each of the three floors above will contain 10 apartments, making this building one level higher than the one it replaces. The east and west elevations of the new building will have a continuous tinted glass balustrade to reference the precast panels below the windows on the previous building. The end walls to this building will be sheathed with a precast concrete panel system to reference the cladding of the previous building.

The additional level on this building will be constructed with a timber frame and sheathed with a proprietary pre-finished metal cladding system in a darker colour to make it recessive as a way of reducing its the impact.

The fenestration pattern of the original Gray Building at the courtyard level was different to the original Waghorn building and featured large sliding doors, as this space was used as a cafeteria. The replacement Gray Building will also have a café at the courtyard level with doors opening out to the courtyard. The floor above will accommodate a main lounge and bar opening onto a deck, which will overlook the bowling green. A timber pergola along the north façade of the replacement building will provide a contrast to the concrete work behind and provide a human scale to the building, while also providing protection from the sun. The sunshades and intermediate mullions of the original buildings will also be referenced, although the new sections may be formed from Glass Reinforced Concrete (GRC) to again reduce weight.



Render showing replacement Gray Building (left) and Waghorn Building (right). Both have the notation B01A on the site plans supplied by Ryman.
Source: Ryman Healthcare.

Sheet A004 of the Heritage Appendix has an original architect's drawing showing the Gray and Waghorn Buildings as designed, along with an early photograph of the Gray Building. Also included are photographs of the two buildings taken between 5 April 2018 and 18 November 2019 and an image of the proposed replacement Gray Building, together with the link to the

new Waghorn Building. Heritage Appendix Sheet A006 shows the original architect's drawing of the Waghorn Block, along with photographs of the building as constructed and an image showing the proposed replacement building for comparison. Note the additional level with dark coloured wall sheathing to ensure it remains a recessive element.

The rear of the original Gray Building facing south was designed to be more solid than the north façade that faced the sun. This difference in wall treatment will be repeated in the replacement building with the majority of the south elevation proposed to be clad with lightweight proprietary panels with window and door openings being provided where required. Finishes to the precast panels are still being investigated with possible options being exposed aggregate or otherwise pattered.

Both replacement buildings will have aluminium joinery throughout to reduce maintenance costs. The joinery will, however, essentially match the original timber joinery in terms of member sizes and fenestration patterns. The new joinery will have a dark colour as it appears, from early photographs, that the original timber joinery was also painted dark.

Access to the roof of the buildings will be required for maintenance purposes and this will be provided via a tower on the rear of the replacement Waghorn building. The form of the tower will reference the tower that was constructed on the roof of the original Malcolm building.

The proposed new link between the replacement Gray and Waghorn Buildings will also take its cues from the original link building. The entries at the base of the link on levels two and three will have a similar architectural language to the original entries where the entry porches slide in past the external walls. As with the other new buildings, the joinery will be aluminium but will echo the fenestration of the original links.

Sheet A005 of the Heritage Appendix has an original architect's drawing of the Waghorn and Gray Buildings and the Allen Ward VC Hall. Also on the same sheet are photographs again taken between 5 April 2018 and 18 November 2019 that include the rear elevation of the original Gray Block and the link to the Waghorn Building. The lower image on Sheet A005 shows the proposed replacement Gray Building and the new link to the replacement Waghorn Building. Note the relative solidity of the south elevation of the replacement Gray Building which has been designed to reflect the original building.

The former rectangular Oldershaw building will be replaced with a new rectangular base-isolated building. This building will predominantly be occupied by new apartments and will be larger than the building it replaces, although set at a lower level than the adjacent Waghorn replacement building. It will also be separated from the retained octagonal structure.

The new building to replace the Oldershaw Building will use the same architectural vocabulary as the replacement Waghorn building to again reflect the original structure, but without the additional upper level. As with the replacement Gray and Waghorn buildings this building will have precast concrete frames on the two main facades and precast concrete panels on the end walls.

5.3 Other New Buildings

I was also involved in the concept designs for the external elevations of the five new low-level buildings along the southern boundary, denoted on the site plans as Buildings B02, B03, B04, B05 and B06. These buildings will have carparking at ground floor level and apartments and landscaped terraces above.

The original buildings on the Site all featured precast elements to frame window openings and this was an important part of their architectural character. Taking cues from the original buildings, the concept design for the new buildings incorporated similar precast concrete elements and these then became a feature of their final design. The design of these buildings also influenced the design of other new buildings on the Site including Buildings B01B and B07 which will use similar precast elements. The precast elements therefore became a way of maintaining continuity with the original architectural values of the place.

To the south and west of the replacement Waghorn building, two new buildings at right angles to one another, labelled as Building B01B on the site plan, will be constructed. These two buildings will contain apartments, assisted living and suites and rest home rooms.

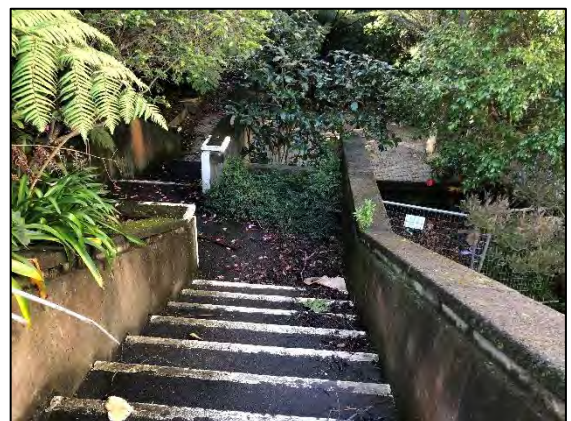
Extending along Donald Street to the south of the Allen Ward VC Hall, another new building shown on the site plans as Building B07 will be constructed. This building will have three levels of apartments at its southern end, although this will reduce to two levels to the northern end as the ground rises along Donald Street.

Sheets A007 and A008 of the Heritage Appendix show the east elevations of the proposed buildings B03, B07 and B01B. The new buildings are clearly contemporary structures but also have exposed precast concrete frames and fenestration patterns that reference the original buildings on the Site.

5.4 Lopdell Gardens

The Lopdell Gardens are considered to make a significant contribution to the character of the Site and will be retained as far as possible. The area of the Gardens between the Tennant and octagonal Oldershaw Blocks extending out towards Donald Street will be largely retained. The area between the original Waghorn and Panckhurst Blocks and the Malcolm and Oldershaw Blocks will also generally be retained as a green area between the proposed B01A and B01B buildings, although the extent will be reduced to enable the construction of a refuse recycling centre. Other areas of the existing gardens will also need to be removed to enable the proposed buildings to be constructed.

Existing site elements will also be preserved where possible. These will include existing pathways through the Lopdell Gardens, steps and retaining walls.



Existing site elements to be preserved including retaining walls (left) and steps (right). Source: DPA Architects.

Once the new buildings are in place, a comprehensive landscaping plan will be enacted. In the areas of what are known as the Lopdell gardens, new exotic and native trees and shrubs will be planted to complement the existing plantings. Native trees to be planted will include Pohutukawa, Karaka, Kowhai and tree ferns. Exotic plants will include Japanese Maples and Magnolias.

6 ASSESSMENT OF EFFECTS

6.1 Methodology

To assess the effects of a proposal involving work to a heritage or character building, it is first necessary to evaluate its heritage or character values. These can include **tangible** heritage values, as well as **intangible** heritage values. Tangible values may include criteria such as architectural style, technological aspects, workmanship and the like. Intangible values include historical, social and cultural criteria and these can also contribute the heritage values of a place.

Once the heritage values of a place have been established, the effects of a proposal involving changes to that place can be assessed. Proposals can have either a positive or a negative impact on heritage values. Positive effects on heritage values may arise from work that seeks to return heritage features that may have been lost to a place, while potentially negative impacts may include partial or complete demolition or unsympathetic changes to a place.

Heritage buildings were generally constructed to perform a particular role and are often recognisable as such. Obvious examples are churches or railway stations. The original use of a building can be considered to be an intangible value that contributes to its overall heritage values. For this reason, a heritage building should continue to be used wherever possible for its original purpose.

However, because of changing circumstances it is not always possible for a building to continue to be used for the purpose for which it was built. For example, a church may lose its congregation over time. If that building is to survive for the future, a new use has to be found, otherwise it may fall into disrepair.

A new use for a building should always be compatible as a way of minimising the impact of a change of use on its heritage values. That new use should also require the least degree of change to the heritage fabric. An incompatible new use is likely to involve a greater degree of change and may require the removal of additional heritage fabric.

6.2 Retained Original Buildings

As noted above, the original use of a building may be considered to be an intangible heritage value. If a building is not able to continue to be used for its original use, the finding of a new compatible use for it is a way of mitigating the impact on heritage values caused by the change of use.

This is the situation with the Site in question. Since it was vacated by the Victoria University of Wellington in 2016, it has generally remained unused. As the Site has now been purchased by Ryman for redevelopment as a retirement village, the buildings will now not be able to be used for their original purposes.

As noted, the Allen Ward VC Hall, the Tennant Block and the octagonal Oldershaw building will be retained and this is obviously a positive aspect of the proposal in that it will ensure that they survive for the future. The proposed uses as part of the Village Centre in the case of the Allen Ward VC Hall, apartments in the case of the Tennant Block and Village activities for the octagonal Oldershaw Block are considered to be compatible uses which will help to mitigate the fact that they cannot continue to be used for their original purposes as designed. Each of the buildings will need to be adapted to accommodate their new uses, however, the changes, particularly to the exterior, will be relatively minor.

In summary, the only external changes to the Allen Ward VC Hall will be the addition of new glazed panels on the north elevation, the wrapping of the concrete columns at high level and the replacement of the timber joinery with aluminium. The glazed panels will have a contemporary appearance to ensure they are not perceived as being original, while the fenestration patterns of the new aluminium windows will reflect those of the original timber joinery.

Although these external changes will potentially have an impact of the heritage values of the Allen Ward VC Hall, the impact will be mitigated and balanced by positive aspects of the development including the proposed new uses for the building which are considered to be compatible. Overall, I consider that the proposal will have a minor impact on the building's heritage values.

The Tennant Block will be redeveloped to contain a series of apartments. The proposed new use is considered compatible and will also require minimal changes to the building exterior.

It is considered that the provision of new uses for the Tennant Block will have a positive effect on its heritage values, as it will ensure that the building survives for the future. Externally, the only visible change will be the replacement of the present timber joinery with aluminium. This will potentially have a negative impact on its heritage values, however, this will be offset by positive aspects such as the building having new viable uses. Overall, I consider that the impact of the changes on the heritage values of this particular building will be minor.

Externally, the octagonal Oldershaw building will also remain largely unchanged. As constructed, it was a two storied structure that was attached at both levels to the adjacent square-shaped teaching block. The teaching block has been demolished and will be replaced with a new block, also identified as B01A in the Ryman drawings, which will largely contain apartments. The link that was in place between the octagonal building and the teaching block has also been demolished and as the octagonal building will now be a stand-alone structure, minor work will be required to make good to it following the demolition of the link. As with the other original buildings to be retained, the existing timber joinery in the octagonal building will be replaced with aluminium to reduce maintenance costs. The retained building is proposed to be used for resident activities. This is considered to be an appropriate use which will have a positive impact on its heritage values.

Other positive changes to the retained buildings on the Site will include the removal of intrusive elements such as the later student lounge at the lower level of the link between the Allen Ward VC Hall and the Tennant Block and the later canopy facing Donald Street. The link on either side of the Donald Street canopy has also been modified over time and work will include reinstating the original canopy and returning the link to its original form. These changes will have a positive effect on the heritage values of the retained buildings.

The fact that the Allen Ward VC Hall, the Tennant Block and the octagonal Oldershaw building are all being retained will have a positive effect on the overall heritage values of the Site, as will the changes that are proposed to return the buildings to an earlier form.

As noted, the original timber joinery will be replaced with aluminium to reduce maintenance costs. The replacement of the original joinery with aluminium could potentially have a negative impact on the buildings' heritage values, however, this will be mitigated in part by the original fenestration pattern being referenced. The size of the individual sections to be used to fabricate the windows will also closely resemble the sections of the original windows. For these reasons, overall, I consider that the impact of the changes on the heritage values of the retained buildings will be minor.

Other than the replacement of the original joinery with aluminium, the elevations of the Allen Ward VC Hall and the Tennant Block as viewed from Donald Street will essentially be returned to their original form. The heritage values of these two buildings will therefore generally be retained and enhanced where their original form is being restored.

6.3 New Buildings in Location of Former Buildings

As discussed above, the concept of a group of buildings constructed around a courtyard achieved the sense of community desired by architect, Bill Toomath, and made a significant contribution to the character of the Teachers' College. A positive aspect of the design of the Proposed Village is the retention of the courtyard surrounded a group of buildings.

Although the removal of the Gray and Waghorn buildings was permitted by the District Plan, considerable efforts have been made to mitigate the loss of the former heritage buildings.

One approach could have been to replicate the original buildings; however, they would still not be the original buildings. Replication of heritage buildings is therefore not considered to an acceptable heritage outcome. In the case of the former teachers' college site, the approach has been one of respecting and acknowledging the original buildings and taking cues from them in terms of their design and use of materials. In particular, careful consideration has been given to creating a new architectural vocabulary which will complement rather than replicate the original buildings as a way of differentiating between the different phases in the life of the place.

The heritage values of the Site will be maintained, in part, by positioning the proposed replacement Gray and Waghorn courtyard buildings as closely as possible to the location of the original buildings. Although the buildings will be new, their grouping around the courtyard to reflect the original buildings is considered to be a positive aspect of the proposal.

As another way of retaining the character of the former Teachers' College, the buildings that are to replace the Gray and Waghorn buildings will reflect the original buildings in terms of their architectural style, overall form, bulk and use of materials. Rather than being replicas which could result in a loss of authenticity, these buildings will be recognisable as contemporary structures. Constructing contemporary buildings that reflect, rather than replicate, original buildings is considered to be an authentic approach and to be a positive aspect of the Proposed Village.

As a way of maintaining continuity, the designs of the replacement buildings have been inspired by the existing buildings and have taken strong architectural cues from them, while also being able to be read as modern buildings. In this way, the replacement buildings will be able to be

discerned as not being original, although, over time, they will become part of the story of the place.

In terms of the bulk of the new buildings, the block to replace the Waghorn Building will be one level higher than that on the original building. The exposed concrete frame will, however, be no higher than that of the original building. The recessive nature of this additional level by the use of dark colours will ensure that the new building retains the present scale.

6.4 Other New Buildings

The new buildings to the south and west of the replacement Waghorn building which will contain dementia/care/rest home rooms and apartments, labelled as Building B01B on the site plan, will generally follow the footprint of the former Malcolm and Panckhurst Blocks, the theatre and dance studio buildings and the gymnasium. With the exception of the gymnasium, these buildings were all constructed as part of the Stage 2 development of the Teachers College.

These new buildings will again take cues from the original buildings in terms of their design and materials to be used, particularly as seen in the concrete frames on the facades. They will, however, have a more contemporary appearance to differentiate them from the retained original buildings and the buildings designed to replace the Waghorn and Gray Blocks. The new buildings will also be slightly lower than the Malcolm Block and will have an exposed concrete frame at the lower levels, which will have the effect of reducing their scale. The placement of these new blocks will also enable the Lopdell Gardens that were developed between the teachers' college buildings to be largely retained.

Although the proposed new B01B buildings will be larger in terms of their footprint than the buildings they replace, it is considered that they will have only a minor impact on the heritage values of the place, largely due to their placement in similar locations to the original buildings and their design which takes cues from those buildings.

The proposed Building B07 along the Donald Street frontage will be in an area that has previously been landscaped. The building will, however, have a similar architectural vocabulary to the B01B buildings which will enable it to be differentiated from the retained original buildings along Donald Street. Although the proposed Building B07 will be lower than the adjacent Allen Ward VC Hall, it will have some impact on its heritage values as it will partly conceal the Hall when approaching the Site from the south along Donald Street. It is noted that the Hall is presently partly concealed by the plantings along Donald Street. Overall, it is considered that that the erection of the Building B07 will have a minor impact on the heritage values of the place.

The five new apartments buildings to be located along the southern boundary of the Site, denoted on the site plans as B02, B03, B04, B05 and B06, will generally be of lower scale than the other proposed buildings. Their low scale and location at the rear of the Site on a lower level will ensure that their impact on the heritage values of the Site will be less than minor.

6.5 Landscaping

The Lopdell Gardens with its established and mature plantings will be retained as far as possible and enhanced by new native and exotic plantings to provide a place of relaxation and contemplation for the village residents. Elsewhere on the Site, existing plantings and grassed areas will also be retained where possible.

In response to comments from Wellington City Council, the proposal includes the retention of the Lopdell Gardens and landscape elements as far as possible. Some areas of the existing gardens and open spaces will be lost, however, measures to mitigate their loss will include preservation and reuse of some of the existing site elements including the pathways through the Lopdell Gardens and existing retaining walls and steps. Existing plantings will be supplemented by new native and deciduous trees and shrubs.

The general retention of the Lopdell Gardens and reuse of site elements, along with the provision of additional plantings is considered to be a positive outcome of the proposal.

6.6 Summary

Any changes to heritage buildings, as well as the action of constructing new buildings on a site that is considered to have heritage values will impact on those values. However, in the case of the Proposed Village, considerable efforts have been made to design it in a way that is compatible with, and sympathetic to, the heritage values of the Site.

This applies to the location of new and replacement buildings, the forms and material used for the buildings, the reuse of buildings where possible, and the retention of the landscaped areas on the Site as far as possible.

7 SUMMARY OF EFFECTS

7.1 Positive Effects

There are a number of positive effects arising out of the proposal to redevelop the former Wellington Teachers' Training College site into the Proposed Village. These include the following:

- The Site and the remaining original buildings will have a new and viable use which will assist in their long-term preservation.
- Two of the buildings that are proposed to be retained, being the Allen Ward VC Hall and Tennant Blocks, are the buildings that are the most visible from the public domain. This will minimise the impact of the proposed changes as viewed from Donald Street.
- The retained original buildings will be structurally upgraded to enable them to resist future seismic events with minimal damage.
- Later additions which are considered to detract from the heritage values of the place will be removed. These include the student lounge at the courtyard level on the western side of the link between the Allen Ward VC Hall and the Tennant Block and the additional entrance canopy and infill structures at either side of the original entrance facing Donald Street.
- Although the entry off Donald Street will no longer be the main entry into the complex, the entry will be restored to its original form.
- The octagonal Oldershaw building will be retained. It may be re-purposed for resident activities.
- As well as being structurally upgraded, the retained original buildings will be refurbished and will continue to be fully maintained as a way of preserving them for the future.
- The original overall form layout of Stage 1 of the Teachers' College will essentially be retained with the new courtyard buildings following the same footprint and be generally of the same height as the original buildings.
- The construction of the new buildings on a similar footprint as the original buildings will enable the internal courtyard to be retained.

- The new buildings will reflect the style of the original buildings rather than replicating them and will use compatible materials. This will ensure that the original buildings will still be able to be discerned, while the replacement buildings will be seen as sympathetic additions.
- The courtyard will have a new use as a centre for community activities which will ensure that it becomes a focal point in the Village as it was when the site functioned as the Teachers' College.
- Existing mature plantings including the Lopdell Gardens, along with site elements such as retaining walls and steps will be preserved as far as practicable and the gardens will become areas of relaxation for the residents.

The retained original buildings and the wider Site will have a new use as part of the Proposed Village. This will also have intangible social benefits in that elderly people who might otherwise have had to move out of the area will be able to continue to reside in an environment that is familiar to them.

7.2 Potential Negative Effects

The potential negative effects arising from the Proposed Village include the following:

- The removal of interior fabric from the buildings proposed to be retained will have an impact on the heritage values of the place, although this will not be apparent from outside the Village.
- The loss of original timber joinery in the buildings to be retained to be replaced with aluminium will have an impact on the heritage values of the place. However, this change is required to reduce maintenance costs within the complex. The loss of the timber joinery will be partly mitigated with the new joinery following, as far as possible, the fenestration patterns of the existing joinery.
- The inevitable loss of some of the existing plantings will have an impact on the heritage values of the place. The landscaped areas that are able to be retained will continue to be maintained.
- The new buildings could potentially have a negative impact on any heritage values the Site may have, including the loss of open space and some established trees.
- The new buildings with their increased bulk will also change the scale of the former Wellington Teachers' College site.

8 RECOMMENDATIONS

The following recommendations are made.

- a) That an experienced heritage architect continues to be employed throughout the design phase for the replacement Waghorn and Gray Buildings and beyond. This is to ensure that the replacement buildings reflect the character of the original buildings. This also applies to any work to the retained buildings, particularly where work is undertaken to return them to their original form. The involvement of a heritage architect will ensure that the work is undertaken in a manner that accurately replicates their original form.

Areas where a heritage architect may be employed on an on-going basis Areas where this is particularly important include the following:

- The design and construction of the new external concrete frames including size of members and details of junctions and methodologies to affix the frames.

- Fenestration patterns of replacement aluminium windows to ensure these reflect the original window configurations. The size of the elements that make up the windows should also match the existing timber members as closely as possible
 - The design of new entry doors to ensure these reflect the original doors.
 - The design of any replacement precast concrete panels and their surface treatments.
 - The design of the restored Donald Street entry, canopy and louvred screen to ensure accurate reconstruction.
 - The design of the new main village entry to ensure it reflects original entries.
 - The design of the new glazed balustrades.
 - Methodologies to structurally upgrade the retained original buildings to ensure that the work minimises any impact on heritage fabric.
 - The location of any mechanical plant to ensure its impact on heritage fabric is minimised.
 - Colour scheme for the retained and replacement buildings.
- b) That a heritage architect be employed to oversee any remedial work to the retained buildings. This includes the following:
- Repairs and remedial work to concrete surfaces, particularly where concrete is palling due to rusting reinforcing.
 - Remedial work to any existing timber surfaces including replacement of defective timber and applied finishes.
 - Work to remove any accretions to the original buildings to ensure remaining heritage fabric is protected from damage.
 - Remedial work as required to any site elements such as retaining walls and steps.
- c) That a heritage architect be employed to oversee measures to record and share the heritage of the Site [or alternatively: to recognise the heritage values of the Site] as follows:
- To develop a strategy to interpret the history of the site for the benefit of visitors and residents. The strategy may include the provision of historic and contemporary photographs and display boards in areas such as the main entry foyer.
 - To the extent practical in relation to the works for which consent is sought, maintain a photographic record of the development of the Site for future reference.

9 SUMMARY AND CONCLUSION

The site of the former Wellington Teachers' College is to have a new use as the Site of the Proposed Village. A number of the buildings on the Site will be removed as they are unable to be adapted for the proposed new use or to be structurally upgraded to a sufficient level to ensure safety for the future residents.

Some buildings will be retained and be adapted for new uses as part of the Proposed Village. These include the Allen Ward VC Hall and the Tennant Block, both of which front onto Donald Street, along with the octagonal Oldershaw Building which will be retained for use by the Village residents. Where possible, the retained buildings will be returned to an earlier form by the removal of accretions and the reconstruction of missing elements.

Some changes will be required to adapt these buildings and although the changes are considered to be minor, they will potentially negatively impact on their heritage values. The impact of the changes to the buildings will be offset by positive effects including the fact that

they will have new and viable uses which will ensure that they survive for the future. Some original features will also be reconstructed.

The courtyard buildings known as the Gray and Waghorn Blocks will be removed and replaced by new buildings, shown on the site plan as B01A. As a way of minimising the impact arising from the loss of original buildings on the heritage values of the place, the new buildings will be located as closely as possible to the position of the buildings that they replace.

This will ensure that the existing spaces between the buildings are preserved. This is important as the external spaces were part of the original design concept for the Teachers' College with the central courtyard, in particular, being designed to encourage a sense of community. The courtyard will be retained as having a central courtyard as a focus for the Proposed Village was considered to be appropriate.

The Lopdell Gardens and site elements will also be retained as far as possible and enhanced where appropriate for the benefit of the residents and as a way of mitigating some of the impact on the heritage values of the place caused by the removal of the original buildings.

The use of design cues taken from the Brutalist architectural style of original buildings throughout the Site has informed the architectural style of the proposed new buildings. Where appropriate, the proposed buildings will be constructed using compatible construction techniques and materials. These measures will partly mitigate the impact on heritage values caused by the loss of the original buildings and will ensure that some of the original heritage values are retained.

In particular, the design of the replacement Gray and Waghorn Buildings and the links between them and also between them and the retained buildings has deliberately followed the style of the original buildings. However, care has been taken to ensure that the new buildings do not replicate the original buildings as this would lead to confusion between what are new and what are original buildings.

Other new buildings on the Site will reference rather than follow the style of the original buildings. Although they will use a similar architectural vocabulary, they will be more contemporary in style to denote them as new buildings.

Other potential negative effects include the removal of original fabric from the Allen Ward VC Hall such as some of the original pebble faced precast concrete panels to enable the installation of the new glazed screen and the replacement of the original timber joinery with aluminium. However, the negative effects will be mitigated by positive aspects of the Proposed Village including the restoration of the original entry portico.

It is considered that the potentially negative aspects of the Proposed Village will be satisfactorily mitigated by the positive aspects. Overall, it is considered that the impact of the Proposed Village on the heritage values of the place will be no more than minor.

Consequently, I can support the development of the Proposed Village.

David Pearson B Arch ANZIA
Heritage Architect, Principal DPA Architects

28 August 2020.

Karori Retirement Village

Ryman Healthcare
Wellington

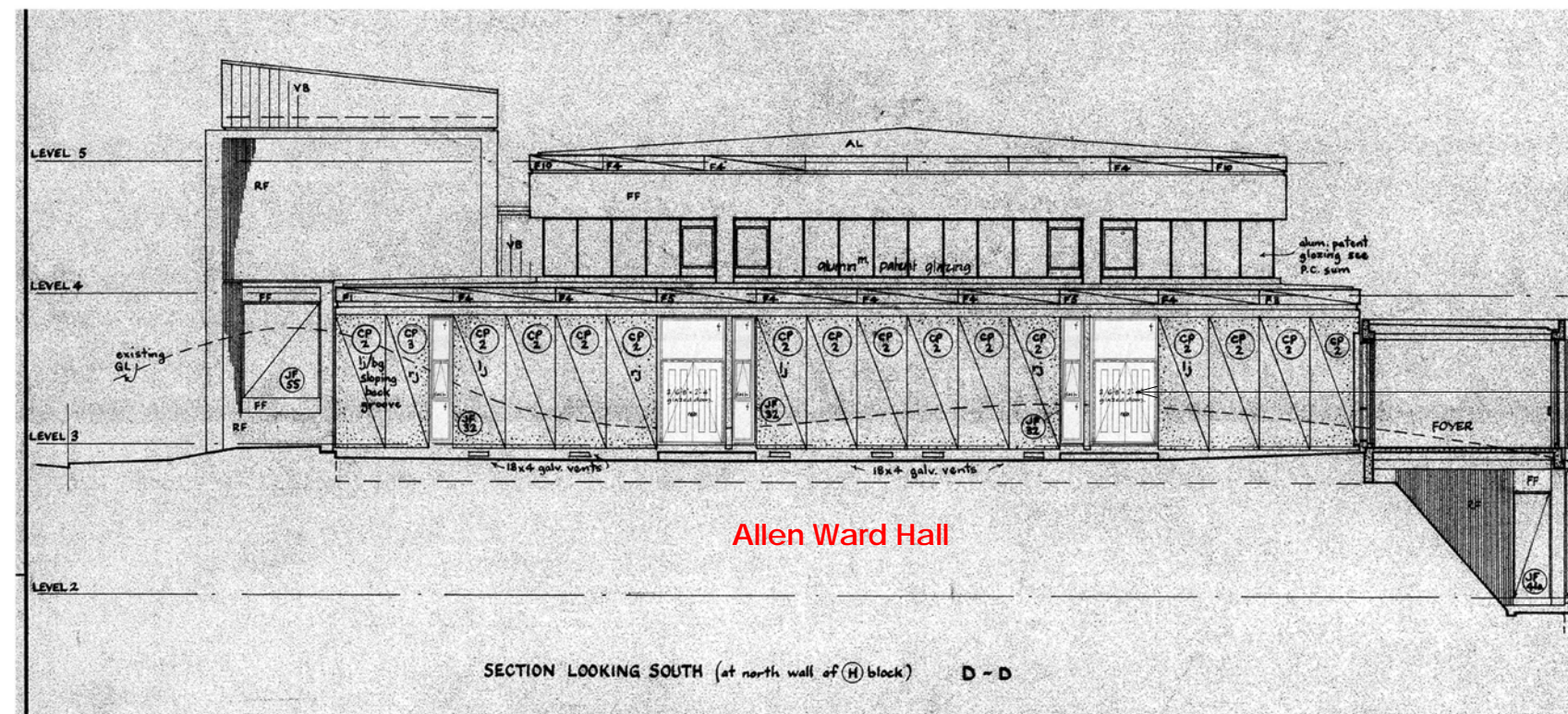
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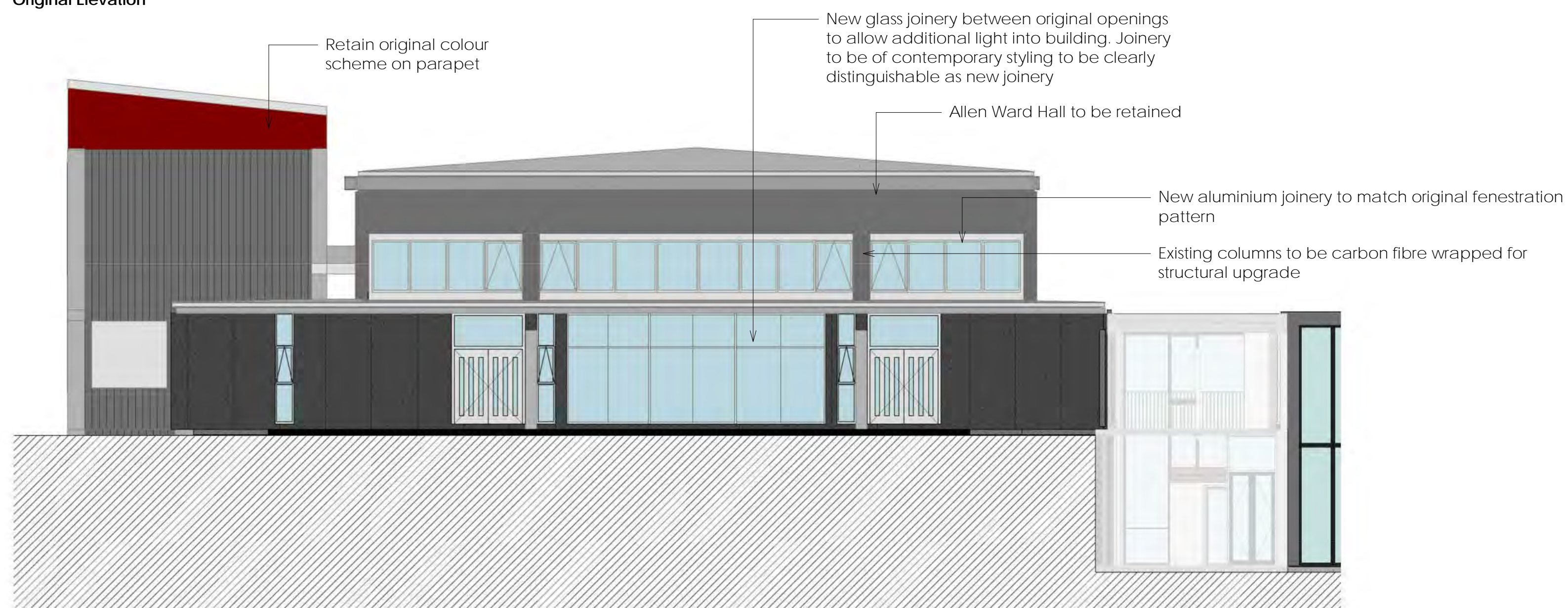


Existing Photographs



Existing doors and sidelight

Original Elevation



Proposed Elevation (Ryman Healthcare)

ALLEN WARD HALL NORTH ELEVATION

A1 sheet scale = 1 : 100
 A3 sheet scale is twice scale shown above

Revision	Description	Date
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Job Title
 Ryman Healthcare
 Karori Retirement Village
 Ryman Healthcare
 Wellington

Allen Ward Hall

Drawn : DPA Checked: DPA

Job # : 1288

Printed : 27/05/2020 11:42:08 AM

Project Status
 For Resource Consent

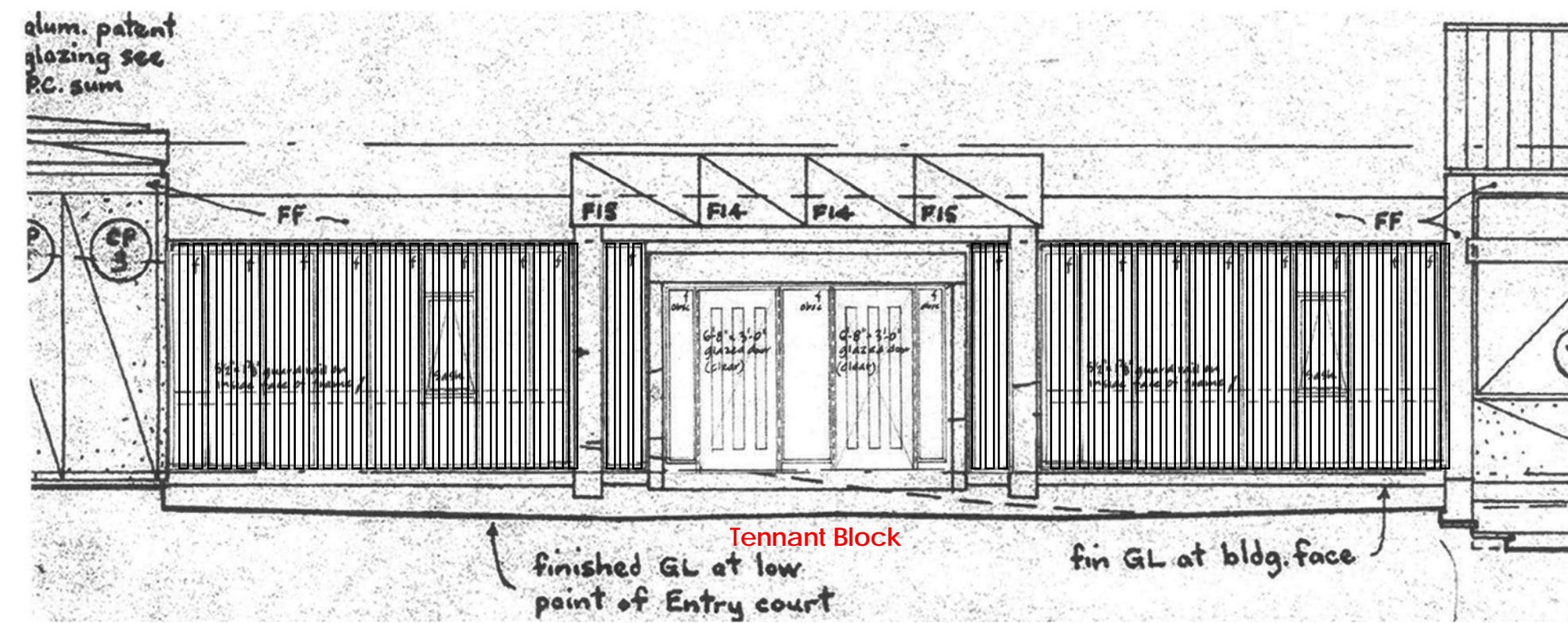
Scale : As Indicated @ A1
 Reduced 50% @ A3 Rev. A001

All dimensions to be verified on site before commencing any work or making any shop drawings.
 Do not scale measure dimensions from drawings.



Existing Photographs

- Demolish addition including non-original canopy
- Demolish non-original sheathing and joinery
- Demolish non-original entry columns

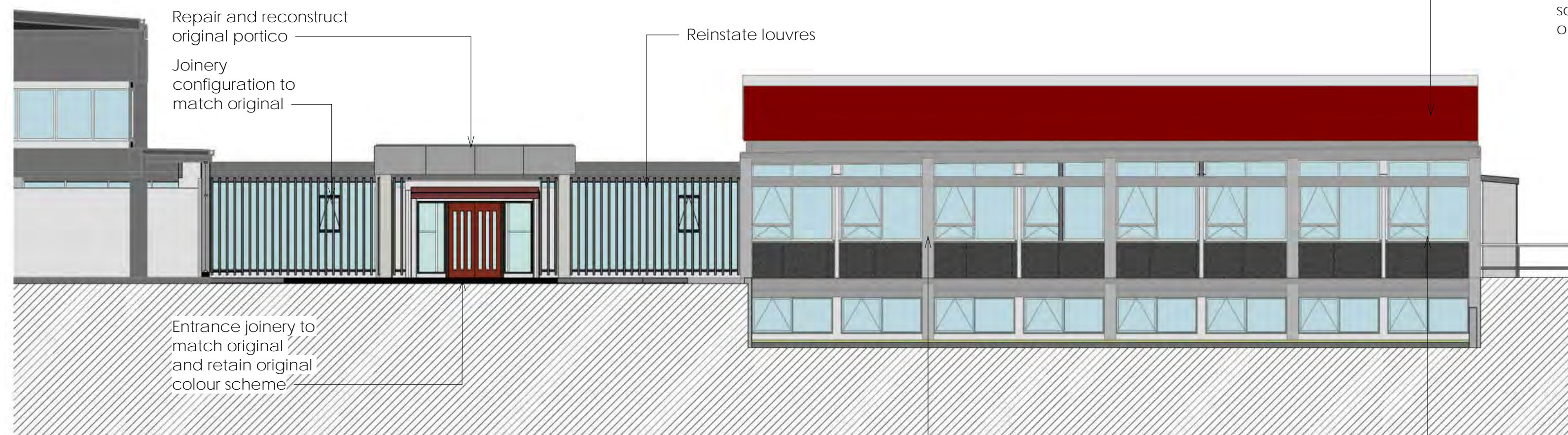


Original Elevation



Proposed Elevation Render (DPA Architects)

- Repair and reconstruct original portico
- Reinstate louvres
- Reconstruct and restore original entry
- Provide new aluminium joinery to match original fenestration pattern and retain original colour scheme



Proposed Elevation (Entry and Tennant Block) (Ryman Healthcare)



Existing photograph (Tennant Block)

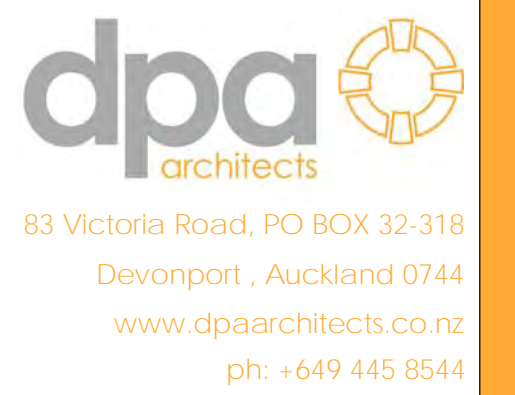
TENNANT BLOCK EAST ELEVATION

A1 sheet scale = 1 : 100
A3 sheet scale is twice scale shown above

Existing columns to be carbon fibre wrapped for structural upgrade

Aluminium joinery to match original fenestration pattern

Revision	Description	Date
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Job Title
Ryman Healthcare
Karori Retirement Village
Ryman Healthcare
Wellington

Tennant Block

Drawn : DPA Checked: DPA

Job # : 1288

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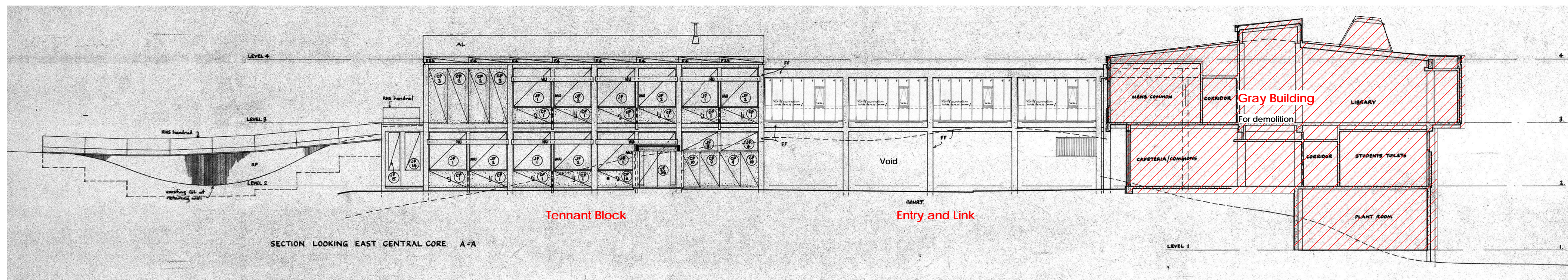
Project Status
For Resource Consent

Scale : As Indicated @ A1
Reduced 50% @ A3 Rev. A002

All dimensions to be verified on site before commencing any work or making any shop drawings.
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Existing Photographs



Original Elevation



Proposed Elevation (Ryman Healthcare)

TENNANT BLOCK WEST ELEVATION

A1 sheet scale = 1 : 100
 A3 sheet scale is twice scale shown above

Revision	Description	Date
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Job Title
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Tennant Block

Drawn : DPA Checked: DPA

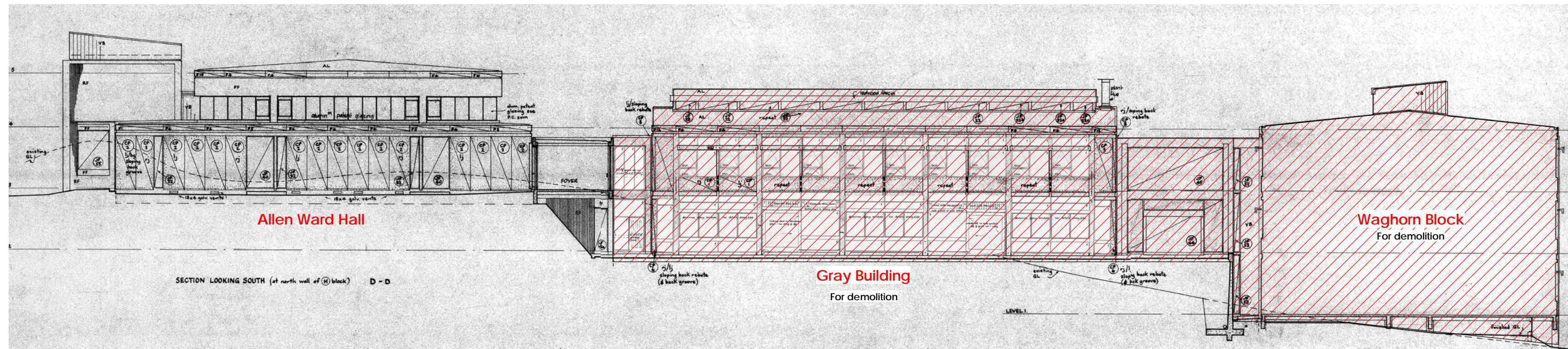
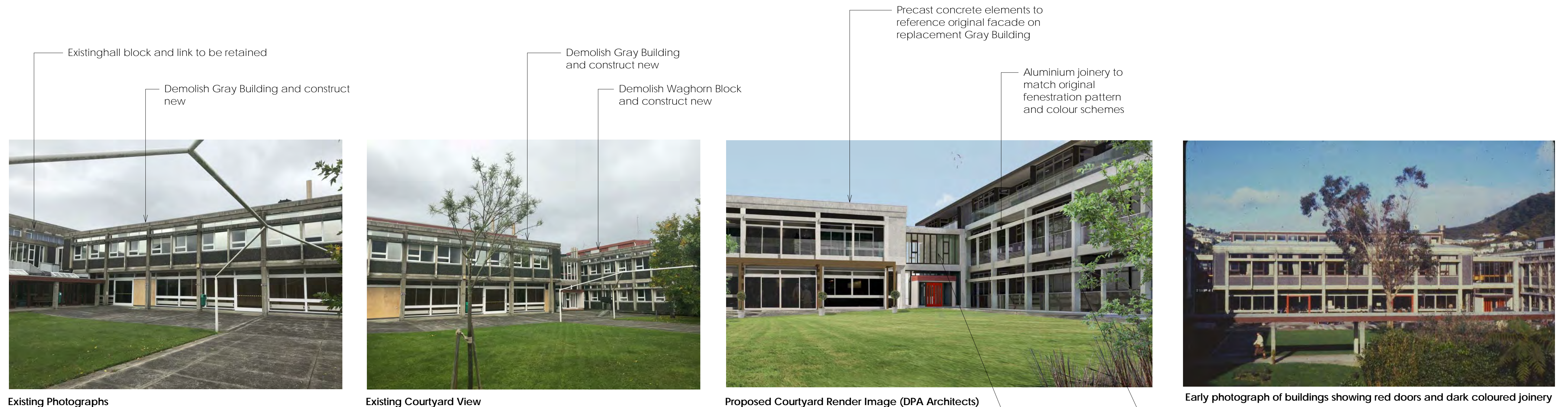
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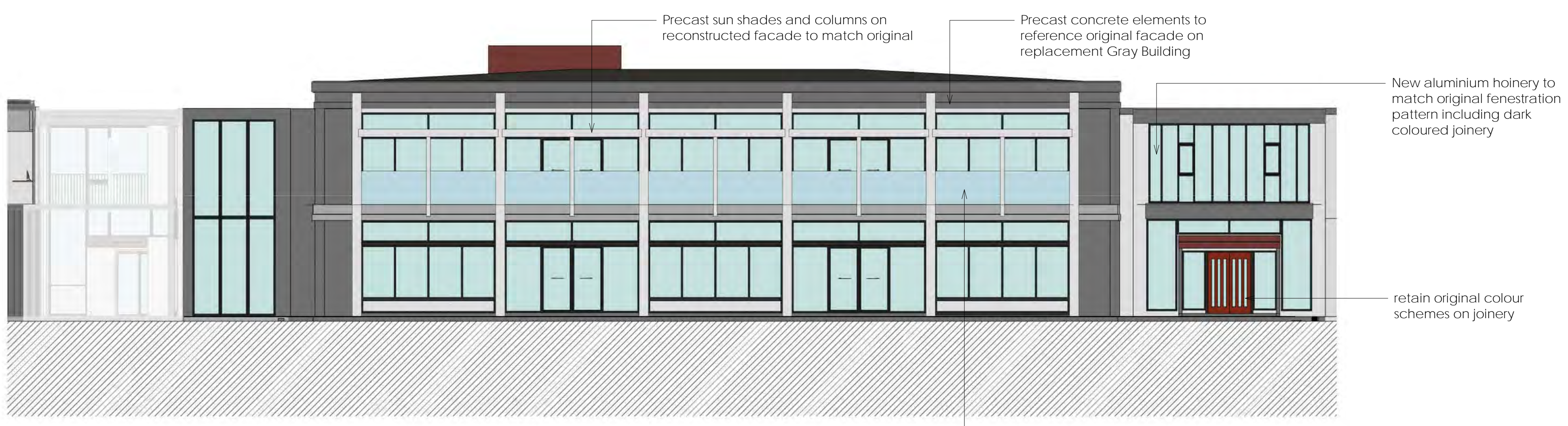
Project Status
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Scale : As Indicated @ A1
 Reduced 50% @ A3 Rev. **A003**

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Original Elevation



Proposed Elevation (Ryman Healthcare)

GRAY BLOCK NORTH ELEVATION
 A1 sheet scale = 1 : 100
 A3 sheet scale is twice scale shown above

Revision	Description	Date
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Job Title

Ryman Healthcare
Karori Retirement Village
 Ryman Healthcare
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Gray Building and Waghorn Block Replacement Buildings

Drawn : DPA Checked: DPA
 Job # : 1288

Printed : 27/05/2020 11:42:29 AM
 Project Status

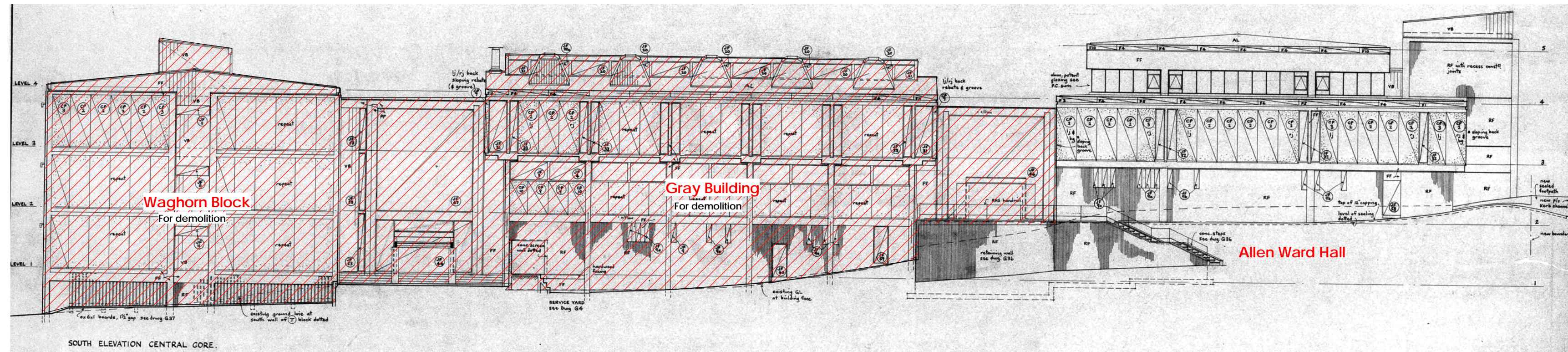
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Scale : As Indicated @ A1
 Reduced 50% @ A3 Rev. A004

All dimensions to be verified on site before commencing any work or making any shop drawings.
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Existing Photographs



Original Elevation



Proposed Elevation (Ryman Healthcare)

GRAY BLOCK SOUTH ELEVATION

A1 sheet scale = 1 : 100
A3 sheet scale is twice scale shown above

Revision	Description	Date
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Job Title
Ryman Healthcare
Karori Retirement Village
Ryman Healthcare
Wellington

Gray Building and Waghorn Block Replacement Buildings

Drawn : DPA Checked: DPA

Job # : 1288

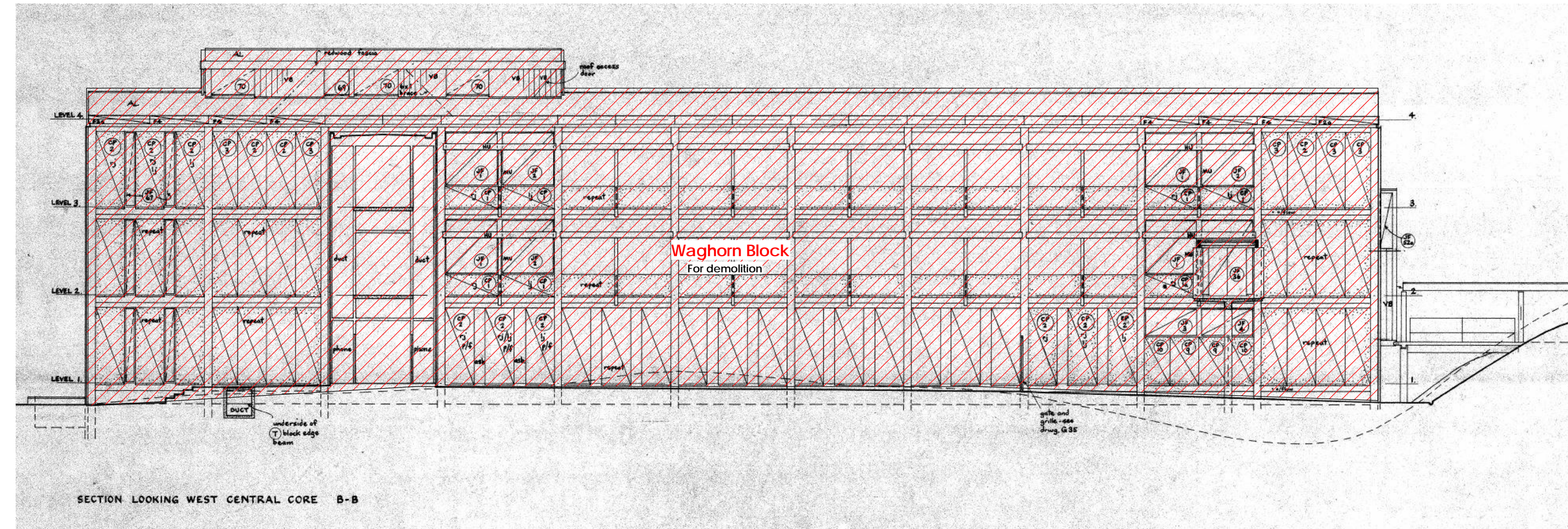
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Project Status

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Scale : As Indicated @ A1
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Rev. A005

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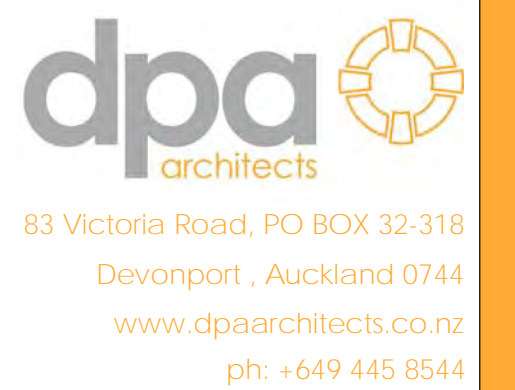
Existing photographs

Original Elevation



Proposed Elevation (Ryman Healthcare)
WAGHORN EAST ELEVATION
A1 sheet scale = 1 : 100
A3 sheet scale is twice scale shown above

Revision	Description	Date
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Job Title

Ryman Healthcare
Karori Retirement Village

Ryman Healthcare
Wellington

**Waghorn Block
Replacement Building**

Drawn : DPA Checked: DPA

Job # : 1288

Printed 27/05/2020 11:42:49 AM

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Scale : As Indicated @ A1
Reduced 50% @ A3 Rev. A006

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Proposed Elevation (Ryman Healthcare)

B03 (INTERNAL) EAST ELEVATION

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 A3 sheet scale is twice scale shown above

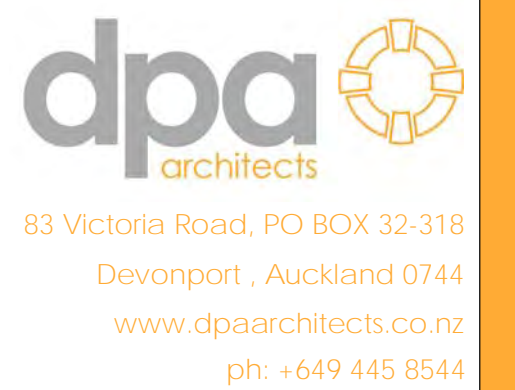


Proposed Elevation (Ryman Healthcare)

B07 EAST ELEVATION (DONALD STREET)

A1 sheet scale = 1 : 100
 A3 sheet scale is twice scale shown above

Revision	Description	Date
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Job Title	Ryman Healthcare Karori Retirement Village
	Ryman Healthcare Wellington

New Buildings

Drawn : DPA	Checked: DPA
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Job # : 1288

Printed : 27/05/2020 11:43:01 AM

Project Status
For Resource Consent

Scale : As Indicated @ A1 Reduced 50% @ A3	Rev.	A007
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All dimensions to be verified on site before commencing any work or making any shop drawings.
 Do not scale measure dimensions from drawings.



Proposed Elevation (Ryman Healthcare)

B01B EAST ELEVATION

A1 sheet scale = 1 : 100
 A3 sheet scale is twice scale shown above

Facade frame to reflect the Brutalist architecture of the existing buildings

Walkway connection bridge to reflect the Brutalist architecture of the existing bridge

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Job Title
 Ryman Healthcare
Karori Retirement Village
 Ryman Healthcare
 Wellington

New Buildings

Drawn : DPA Checked: DPA

Job # : 1288

Printed : 27/05/2020 11:43:10 AM

Project Status
For Resource Consent

Scale : As Indicated @ A1 Reduced 50% @ A3	Rev.	A008
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All dimensions to be verified on site before commencing any work or making any shop drawings.
 Do not scale measure dimensions from drawings.