



Parliament House FAS - Heritage

Request for further information under Section 92 of the Resource Management Act 1991

Service request no: 514663

File reference 1199795

The Request for further information Heritage, query 17, requests an assessment of “the rise in the change in ground level obscuring Parliament House’s basement on the western elevation, opposite the proposed Museum Street development.”

This assessment will first describe a broad history of the immediate area and its identified heritage values before evaluating the impact of the proposed change in ground levels adjacent along the western elevation.

1 Outline history of the western precinct adjacent to the basement

Research using photographs and plans of the precinct has established that:

- at the construction of Parliament House (PH) there was a sloping bank to the north which separated the basement ground level of PH from the ground floor level of the Parliamentary Library (PL), see figure 6;
- the space between the PH and PL housed the Parliament Grounds nursery until the 1970s and is now occupied by the PL lawns;
- early drawings show steps between the lower and higher ground levels, see figure 4;
- a 1930 photo shows a wide (vehicular?) path around the base of PH with a central entry gate from and at the level of Museum Street. Museum Street rises to the north (and slopes down to Bowen Street) while it appears that the wide path slopes down towards a vehicular entry to the north west courtyard. There are planting beds adjacent to PH with central steps up to the members entrance;, see figure 5;

- a 1988 Works Consultancy drawing shows the arrangement of the basement, which included vehicular access to the north west courtyard, see figure 7;
- the Warren and Mahoney drawing for the refurbishment of PH of the 1990s shows the current levels, carparking entry, and glazing of previous openings. A new egress from the basement is located near the north west corner of the building, see figure 3.

2 Heritage values of the west elevation of PH

The conservation plan for PH¹ established that the western elevation has high heritage values and has high authenticity. Relevant polices in the conservation plan include:

- retention of the extant Campbell exterior should be a prevailing consideration when modifying the configuration of the building
- that existing heritage values should not be reduced
- that management of the setting should be consistent with the Parliament Grounds conservation plan prepared by Louise Beaumont

The conservation plan for the landscape established that the topography has high heritage values and high authenticity as it was largely formed between 1910 and 1912 with the exception of the underground carpark egress between the Library Building and Parliament buildings. The western precinct is assessed as having some heritage values and some authenticity. It is noted that:

- The Western Precinct has been subject to considerable change as the former site of the nursery, a temporary accommodation annex and ground modification to accommodate the underground carpark and ramp. The area to the south shares a similar history with ground modifications associated with Museum Street and a changing array of buildings. It contains some heritage fabric and generally has moderate sensitivity to change although the area around the Museum Street oak requires special consideration

Relevant polices in the conservation plan include:

- Make the retention and protection of Parliament Grounds' strong sense of place and heritage values the primary goal in any and all considerations around grounds modification, or new use proposals.
- appropriate new uses should be located in spaces which have low to moderate heritage value
- installation of new fixed structures should be guided by the specifications/standards contained in the following documents:
 - Heritage New Zealand, Sustainable Management of Historic Heritage Guidance Information Sheet 16, Assessing Impacts on the Surrounds associated with Historic Heritage, 2007;

¹ Bowman, I A, Vossler, G M, Martin J E, *Parliament House Conservation Plan*, 2018

- Historic England [English Heritage], Conservation Principles Policies and Guidance, 2008²;
- US National Park Service, Secretary of the Interior's Standards for Rehabilitation, 36 CFR 67³.

3 Proposal description

The proposal is to retain the existing driveway ground level adjacent to the west elevation, which was created in the 1995 refurbishment of PH, but to narrow the width of the driveway from 10.8 metres to 3.4 metres with construction of a new retaining wall and paving over the additional area. The retaining wall in the new location allows for a vehicular access under the proposed new Museum Street Building (MUS) to the existing car park under the Executive Wing (EW). The current driveway will change to a pedestrian only egress from PH basement as per figures 1 and 2. A new retaining wall with steel balustrading is proposed at the new wall location. The existing retaining wall parallel to PH constructed in the 1995 refurbishment to match the original walls will be demolished. New steps are proposed to a half level between the proposed ground level of PH and PL. These are to be in the approximate location of the original steps seen in figure 4.

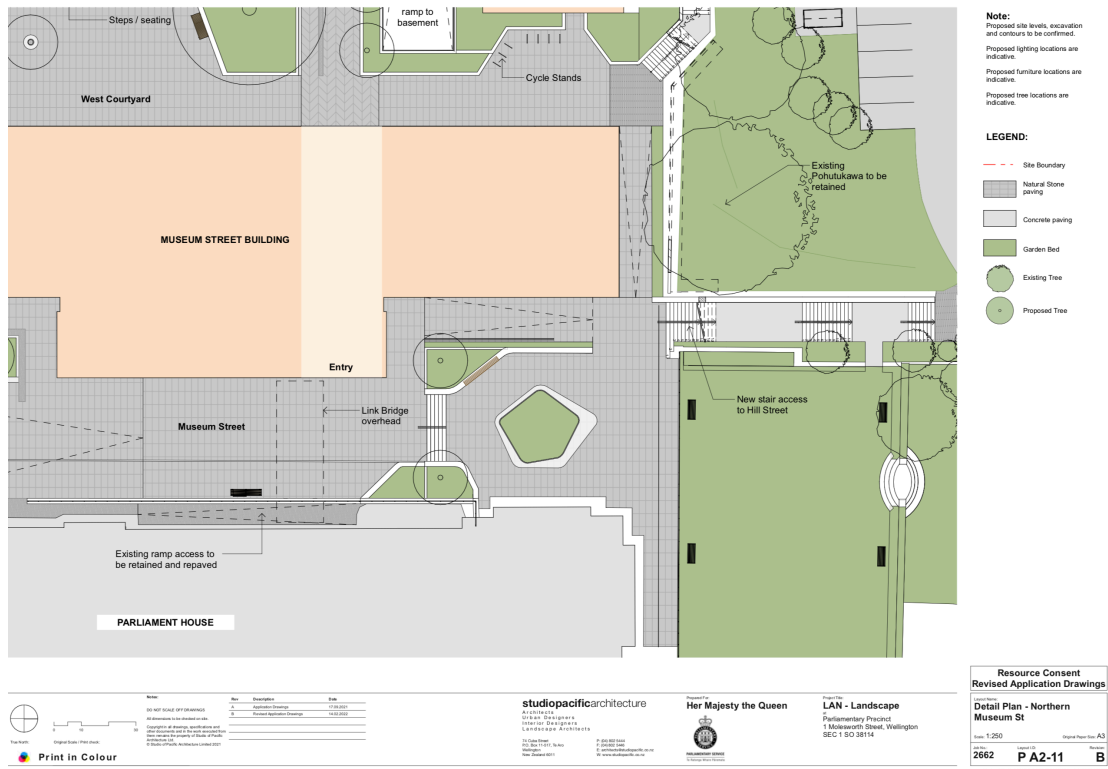
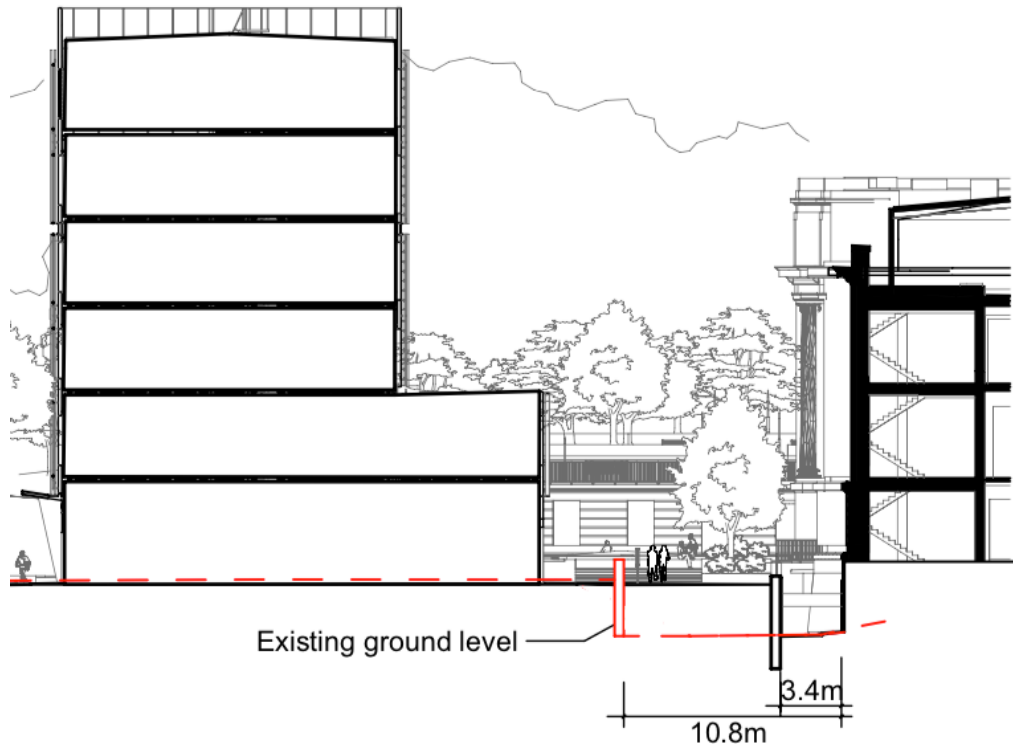


Figure 1 Landscape plan at northwest corner of PH, Studio of Pacific Architecture, 14/02/2022

² Refer <https://content.historicengland.org.uk/images-books/publications/conservation-principles-sustainable-management-historic-environment/conservationprinciplespoliciesguidanceapr08web.pdf/>

³ Refer <https://www.nps.gov/tps/standards/rehabilitation.htm>



Museum Street Building (MUS)	Museum Street	Parliament House
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Figure 2 Part drawing, cross section through the pedestrian walkway, Studio of Pacific Architecture, SK-001, 22/07/2022

4 Assessment criteria

The assessment criteria and approach to evaluation of impacts used are as for the primary HIA of February 2022. Only relevant criteria are assessed.

5 Assessment

5.1 *Explicit discussion on how proposed changes will impact on the values/fabric of the item*

Up until the completion of the 1995 refurbishment the basement has been a significant visible element of the west elevation of PH. As can be seen in figure 3 the 1995 refurbishment significantly modified the ground levels from those seen in figures 5 and 6. The proposed narrowing of the existing driveway space to a pedestrian only egress walkway will further reduce the visibility of the basement level of PH.

There will be no physical impacts on PH as the current ground level will not change.

The high heritage values of the west elevation of PH allows limited adaptation. The proposed works will contribute to a cumulative loss of visibility of the basement which was clearly visible up until the 1995 refurbishment as can be seen in figures 4

to 7. The impacts of the proposal are in addition to those already described in the principal HIA of February 2022.

5.2 21A.2.1 Effects on historic heritage

District Plan Clause	Description and assessment of effect	Level of compliance	Magnitude of impacts
21A.2.1.3	<i>Architectural</i>	Largely complies	Minor negative
	The proposed narrowing of the existing roadway will have little impact on architectural values. The primary impact is the further, cumulative reduction in visibility of PH basement adding to the reduction of visibility brought about by the 1995 refurbishment. Up until 1995 the whole of the basement elevation was visible, see figures 4-7. The new fence on top of the retaining wall will be attached to an existing 1995 fence of a different design. The 1995 design is more suitable than the proposed design.		
	<i>Technology and engineering</i>	Complies	No change
	There will not be any change to technology and engineering values.		
	<i>Rarity</i>	Complies	No change
	The rarity values of the building will not be impacted.		
	<i>Representative</i>	Complies	No change
	The representative values of the building will not be impacted.		
<i>Context or group</i>	Complies	No change	
The context or group values will not be impacted.			
<i>People</i>	Complies	No change	
The people values will not be impacted.			
<i>Events (intangible)</i>	Complies	No change	
The proposal will have no impact on the events			

District Plan Clause	Description and assessment of effect	Level of compliance	Magnitude of impacts
	values of PH.		
	<p><i>Patterns</i></p> <p>The further narrowing of the 1995 driveway and modification of the immediate landscape continues a pattern of alterations to the west basement elevation of PH that further reduces the visibility of this part of the building.</p>	Partially complies	Minor negative
	<p><i>Public esteem</i></p> <p>Unknown</p>	-	-
	<p><i>Commemorative</i></p> <p>There will be no change in commemorative values.</p>	Complies	No change
	<p><i>Education</i></p> <p>There will be no loss of educational heritage values.</p>	Complies	No change
	<p><i>Authenticity</i></p> <p>There will be no loss of authenticity of fabric but there will be a further loss of authenticity of the immediate landscape of the west elevation base of PH.</p>	Partially complies	Negligible
21A.2.1.4	The building lies within the Parliamentary Precinct Heritage Area. The requirements of the guidelines are described and assessed in 6.2.3 below.		
21A.2.1.5	<ul style="list-style-type: none"> <i>retains the main determinants of the style and character of the building or object and in respect of buildings, particularly the street elevation.</i> <p>Originally a street elevation, the west elevation of PH will not change from its existing configuration but it will be less visible than the currently, which was created in the 1995 refurbishment.</p>	Largely complies	Negligible

District Plan Clause	Description and assessment of effect	Level of compliance	Magnitude of impacts
	<ul style="list-style-type: none"> <i>maintains the relationship of the building or object with its setting.</i> <p>The proposed narrowing of a 1995 roadway will modify the relationship of PH with its setting. Existing views of the basement will be obscured more than currently.</p> <ul style="list-style-type: none"> <i>respects the historic or other values for which the building was listed.</i> <p>See 21A.2.1.3.</p>	Partially complies	Minor negative
21A.2.1.6	The proposal does not impact the physical authenticity of PH.	Complies	No change
21A.2.1.7	The significance of the building will be unchanged.	Complies	No change
21A.2.1.10	The proposed modification of the driveway to a narrower pedestrian egress route allows the construction of vehicular access from Ballantrae Place under the proposed MUS to the EW carpark.	Complies	Negligible
21A.2.1.11	The author has been consulted as have HNZPT.	Complies	No change
21A.2.1.12	The proposal impacts views, assessed from some to high in the Landscape CP. The current sense of place of this area of the grounds will be reduced with a reduced visibility of the basement of PH. The modifications is located in an area that is assessed as having some heritage values (a minor role in understanding the distinct heritage significance of the place) which allows for adaptation. However the topography of Parliament Grounds is considered as having high heritage values. See below for an assessment against HNZPT Information Sheet 16.	Partially complies	Minor negative

5.3 21A.2.2.2 Effects on historic heritage

District Plan Clause	Description and assessment of effect	Level of compliance	Magnitude of impacts
21A2.2.3	See 5.1	Partially complies	Minor negative
21A2.2.4	See 5.2.1, 21A.2.1.5 above.	Partially complies	Minor negative

5.4 PPHA

Criteria	Assessment	Level of compliance	Magnitude of effect
PP G1.1	PH will not be physically modified.	Complies	No change
PP G1.3	A realigned Museum Street will be maintained, although in a different location to the original.	Largely complies	Negligible
PP G1.4	Visibility of the basement of the west elevation will be reduced.	Largely complies	Minor negative

5.5 HNZPT Information Sheet 12

Criteria	Description and assessment of effect	Level of compliance	Magnitude of impacts
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Principles

Avoid work that will compromise or obscure fabric of heritage value	The proposed new retaining wall and additional paving constructed closer to PH will obscure the views of the basement of the west elevation to a greater extent than currently. This is a cumulative loss of visibility from the 1995 refurbishment, before which the whole of the basement of PH was visible without obstruction.	Largely complies	Negligible
Avoid domination and respect its setting.	The proposed reduction in width will alter the setting of the west elevation of PH as described above.	Largely complies	Minor negative

5.6 HNZPT Information Sheet 16

Criteria	Description and assessment of effect	Level of compliance	Magnitude of impacts
General			
Retain the original relationship of heritage item to its site	The buildings will remain in a single ownership however there will be a change in the relationship of the site with PH as described above.	Largely complies	Negligible
The activity should not be visually dominating	The activity is located to the west (rear) of PH, which has been assessed as being of lesser significance than the east elevation. This aspect of the proposal will not be visually dominating.	Complies	Negligible
Provide for an adequate setting for the heritage item	The proposed setting and its effect on the building are described above.	Largely complies	Minor negative
Effects that are permanent and irreversible should be given greater weight	The impacts on PH will be direct, cumulative, permanent, irreversible, visual and physical.	Largely complies	Minor negative
Provide for adequate visual catchments, sightlines,	The visibility of the basement elevation of PH will be further obscured from the current situation as described above. The effect will be cumulative.	Partially complies	Minor negative
Provide for intervisibility	The intervisibility of other significant buildings such as the EW and PL will not be affected.	Complies	No change
Checklist			
The character and setting should not be affected	The setting of PH will be modified as described above. The effect of the proposed narrower egress way at basement level will be a further, cumulative reduction in visibility of this part of the building.	Partially complies	Minor negative

5.7 HNZPT Information Sheet 17

Criterion	Assessment	Level of compliance	Magnitude of effect
<i>Principles</i>			
Retain original relationship of heritage item to the site	The relationship of the building to the site will be modified with the narrowing of the current driveway, reducing visibility of the basement level of PH.	Largely complies	Negligible
The activity should not be visually dominating	The narrower egress way will not be visually dominating but it will modify the existing visibility of the basement level of PH.	Complies	No change
Maintain the setting	The setting of PH will change with the narrower egress way from the existing. This will be a cumulative change from before the 1995 refurbishment when the whole of the elevation was clearly visible from Museum Street and other vantage points	Partially complies	Minor negative
Provide adequate visual catchments, vistas and sightlines	The visibility of the basement level of PH will be further reduced from the existing situation, which was created in the 1995 refurbishment.	Largely complies	Minor negative

5.8 ICOMOS NZ Charter

Criterion	Assessment	Level of compliance	Magnitude of effect
Clause 9 Setting	The current setting, considered in the Landscape CP as having some heritage values, contributes to the heritage values of place and will be modified by the narrowing of the existing vehicular access from under the PL from a pedestrian only egress for the basement of PH.	Largely complies	Minor negative

6.0 Evaluation of impacts

Based on the assessment of heritage impacts and the methodology for assessment in section 5.0 of the February 2022 HIA, the following are the assessed impacts on PH

without mitigation measures:

Value of PH	Magnitude of impact	Significance of impact
The building is individually listed category 1 with HNZPT, it is listed in the WCDP and is a primary building in a heritage area. This equates to a high value, based on the ICOMOS and Waka Kotahi Guides.	The greatest, and most common, magnitude of impact is minor negative .	Based on the matrix the significance of impact is assessed as moderate/slight negative .

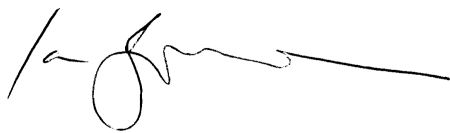
7.0 Conclusions and recommendation

The proposed pedestrian egress from the basement at the north west corner of PH will involve a reduction in width from the existing vehicular access that was formed in the 1995 refurbishment of PH. The effect of the change will be to further reduce, albeit minor, the visibility of this part of the western elevation of PH.

The western quadrant of the setting of PH is considered to have “some” heritage values in the Landscape CP prepared by Louis Beaumont. This rating of value allows for adaptation. The level of adaptation proposed was likely to have been anticipated.

The significance of impact of the reduction in width of the existing accessway is assessed as moderate/slight negative or a minor adverse effect⁴.

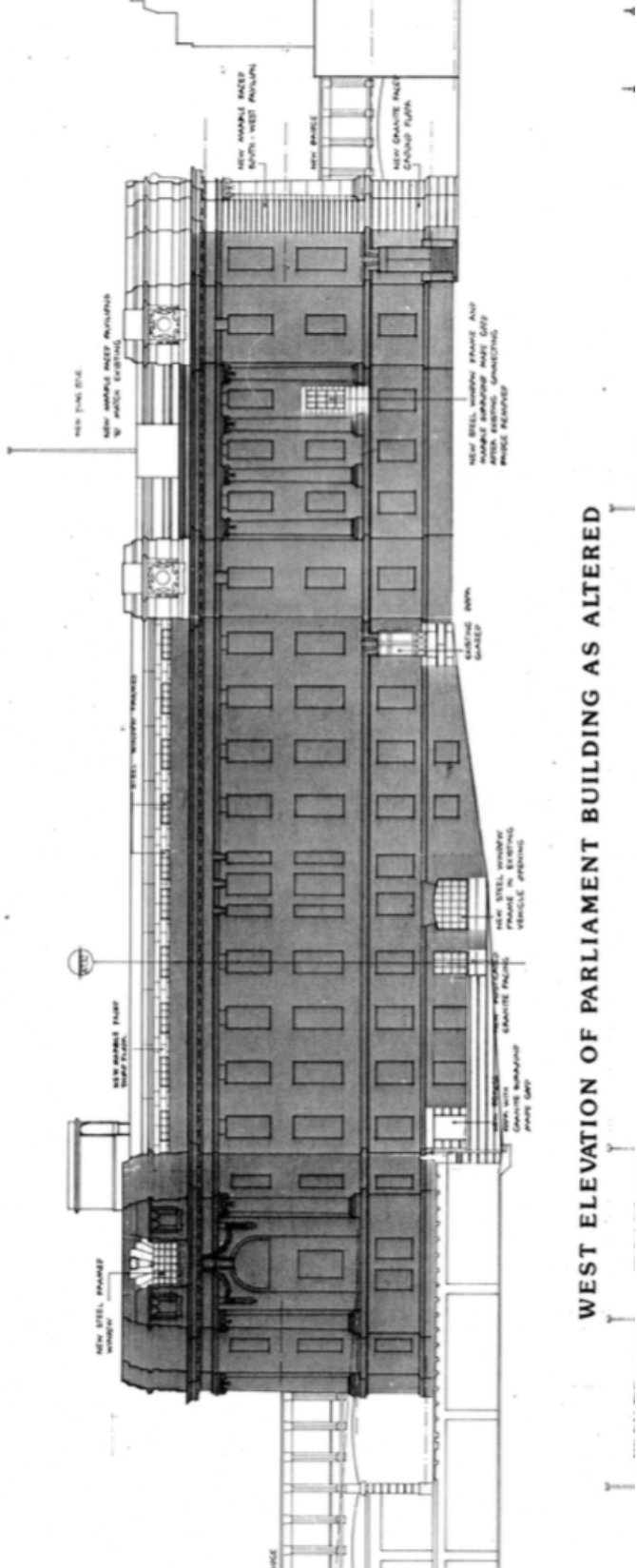
It is recommended that the balustrade on top of the new retaining wall matches the existing balustrade design at right angles to PH that it will join at the north west corner, see figure 10.



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12 September 2022

⁴ For definition see <https://qualityplanning.org.nz/node/837>



WEST ELEVATION OF PARLIAMENT BUILDING AS ALTERED

Figure 3 WAM Drawing showing alterations to the west elevation, no date

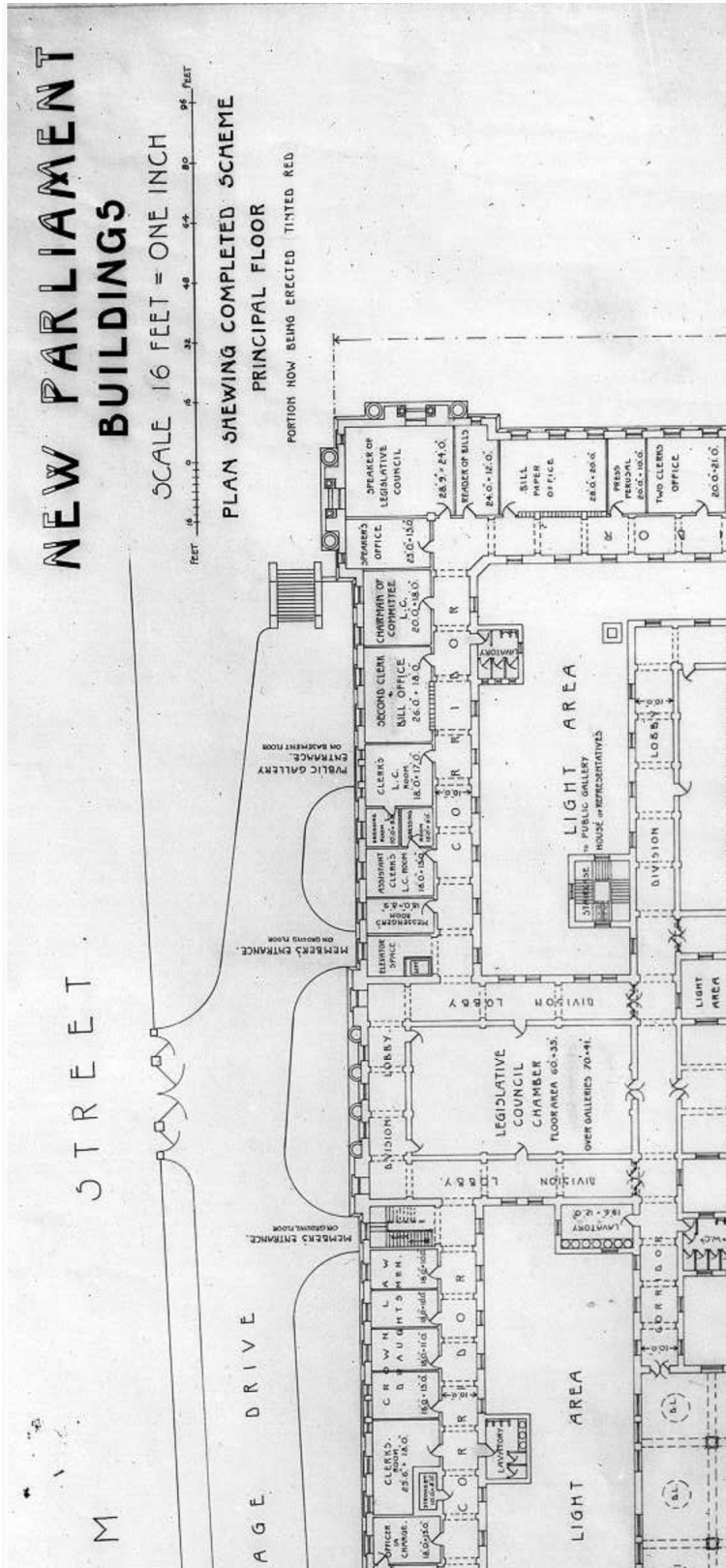


Figure 4 Ground floor plan showing steps to the PL, Tiaki 1/1-020075-G, 1911, S C Smith collection

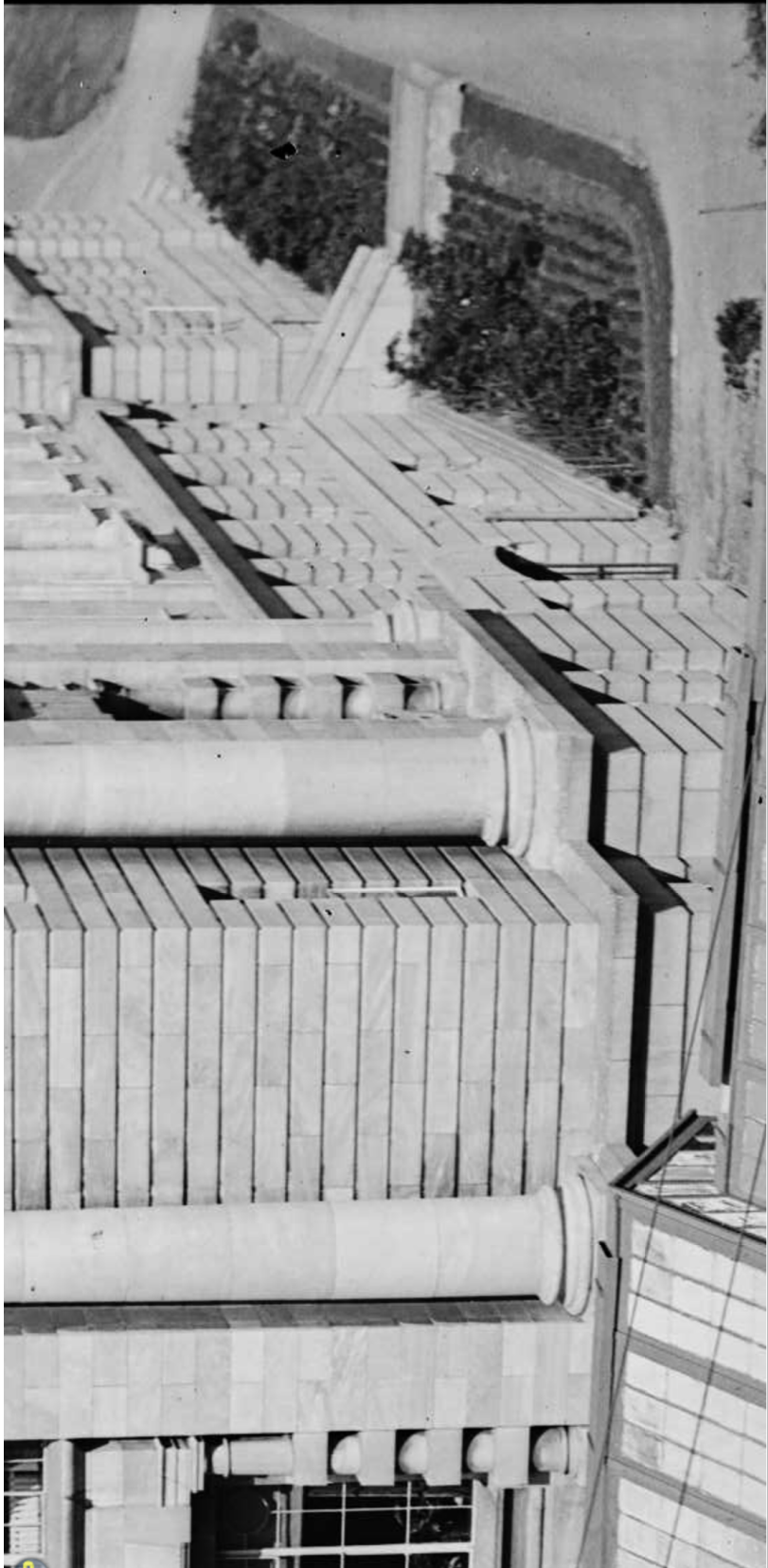


Figure 5 Parliament House west elevation, Tiaki 1/2-088249-G, 1930 Evening Post collection



Figure 6 Foundations of Parliament, note rise in level from PH to PL, Tiaki

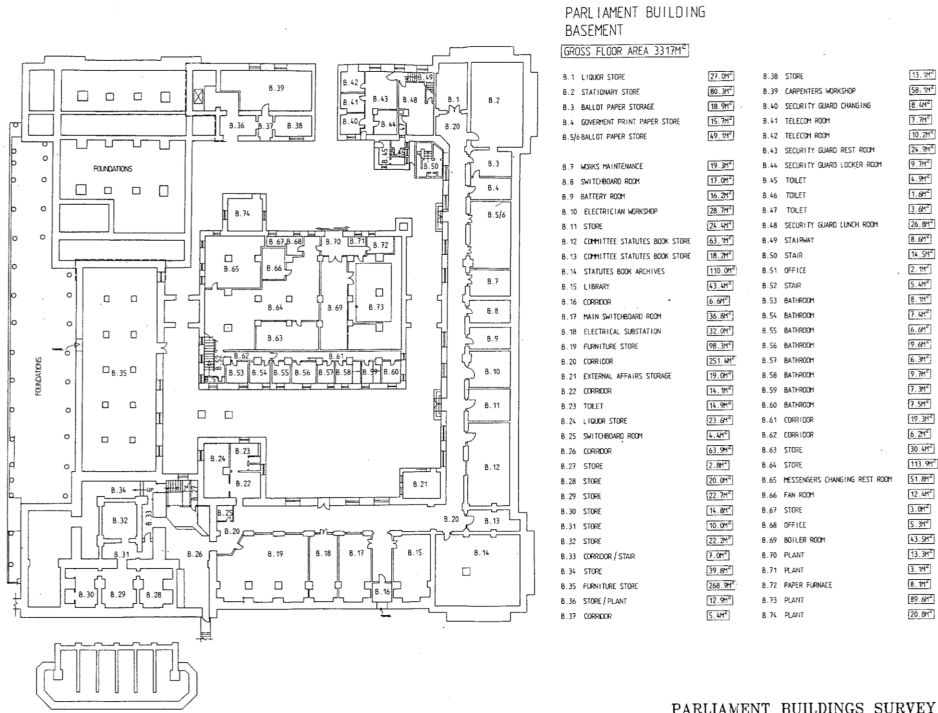


Figure 7 Basement floor plan, Works Consultancy drawing, 1988

PARLIAMENT BUILDINGS SURVEY REPORT
CAD DRAWINGS 1988



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Figure 8 Existing west elevation of PH showing levels and ramp, Studio of Pacific Architecture



Figure 9 View of existing vehicular ramp, Studio of Pacific Architecture, P1030832



Figure 10 View of existing balustrading at right angle to the northwest corner of PH, Studio of Pacific Architecture, part 20170331